



LARAMIE COUNTY PLANNING & DEVELOPMENT DEPARTMENT

Planning • Building

MEMORANDUM

TO: Laramie County Board of Commissioners

FROM: Bryan Nicholas, Associate Planner

DATE: May 21, 2019

TITLE: Review and action on a Subdivision Permit & Plat for Mesa Tracts, 3rd Filing, a replat of Tract 8, Mesa Tracts, Laramie County, WY.

EXECUTIVE SUMMARY

Steil Surveying Services, on behalf of Holly Allison and the City of Cheyenne, has submitted a Subdivision Permit & Plat application for Mesa Tracts, 3rd Filing. The application has been submitted to re-plat Tract 8 into three tracts; one for an existing single-family residence, one for future development, either residential or commercial, and one that is to be conveyed to the Transportation Commission of Wyoming for the future expansion of US Highway 30.

BACKGROUND

A single-family residence with associated structures and an access from US Hwy 30 lies on the northern portion of Tract 8. The residence is currently on a private water well and septic system. A portion of Tract 8 was deeded to the City of Cheyenne in April 2018, which is being re-platted and dedicated as part of the 100-foot right-of-way for Christensen Road.

Pertinent Regulation

Section 2-1-101 (a-e) of the Laramie County Land Use Regulations governing the criteria for a subdivision permit and plat.

DISCUSSION

The Laramie County Comprehensive Plan identifies the area as Urban Rural Interface (URI), which is intended to accommodate a mix of more intensive land uses than other areas. These areas may have public water and sewer services, a higher level of vehicular access and a greater overall level of community services. Higher density residential, intensive commercial, employment centers and industrial uses are preferred in these areas.

PlanCheyenne

categorizes this area as Mixed-Use Commercial. This category promotes primary land uses such as retail, offices, light industrial, parks, plazas, and activity centers. Residential uses, such as apartments or townhomes, are viewed as secondary uses. Areas within this category should be located near principle arterial or minor arterial streets, or transit facilities, with the intent of creating an environment that has employment and shopping opportunities.

This property now lies within the Mixed-Use (MU) Zone District. Adjacent Zone Districts are primarily Agricultural in nature, ranging from AR to A2. The MU Zone District allows for a mixture of residential and commercial uses; including duplexes, multi-family residential, retail sales conducted within a building, and mixed-use residential developments. If developed, the lot coverage ranges from 60 to 70 percent depending on the type of development.

Per Section 2-1-101(c) (vi), subdivisions of five (5) or fewer divisions of land are exempt from a Department of Environmental Quality Chapter 23 Review pursuant to W.S. 18-5-306.

On March 28th, 2019 the Planning Commission held a public hearing for this project, voting to recommend denial of the Zone Change due to opinion that change would create “spot zoning”. Therefore, the Planning Commission voted to postpone their decision on the proposed subdivision, in order to await the decision of this Board for the Zone Change.

This Board held a public hearing on April 16th, unanimously voting to approve the Zone Change, stating that the future expansion of US Hwy 30, along with the construction of the Christensen Overpass influenced their support, and the proposed Zone District of Mixed Use was appropriate based on the future development surrounding the property.

The subdivision was recommended to the Board for approval, by a vote of (3-0) by the Planning Commission at the public hearing held on May 9th with conditions. No public comments were received by the Planning Commission during the hearing.

A revised plat was submitted to County Planning on March 19, 2019, along with a recorded warranty deed transferring ownership from Holly Bruegman to Holly Allison, thus addressing agency comments and the remaining clerical issues. Public notice was provided per Section 1-2-104 of the Land Use Regulations. No public comment was received.

Staff finds the application is consistent with the plans and policies of Laramie County.

RECOMMENDATION and FINDINGS

Based on evidence provided, staff recommends the Board find that:

- a. This application meets the criteria for a subdivision permit and plat pursuant to section 2-1-101 (a-e) of the Laramie County Land Use Regulations.

and that the Board approve the Subdivision Permit and Plat for Mesa Tracts, 3rd Filing with no conditions.

PROPOSED MOTION

I move to approve the Subdivision Permit and Plat for Mesa Tracts, 3rd Filing, and adopt the findings of fact a, as shown in the staff report.

ATTACHMENTS

Attachment 1: Location Map

Attachment 2: Aerial Map

Attachment 3: Comprehensive Plan Map

Attachment 4: PlanCheyenne Map

Attachment 5: Combined Agency Comments Report

Attachment 6: Applicant Traffic and Drainage Waiver Request Letter – Revised 3.19.19

Attachment 7: Applicant CFF Acknowledgement Letter – Revised 3.19.19

Attachment 8: Existing Conditions Map

Attachment 9: Plat – Revised 3.19.19

Attachment 10: Resolution

Laramie County, Wyoming



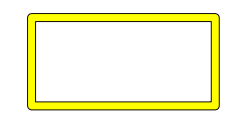
Mesa Tracts
3rd Filing

Zone Change
Subdivision Permit & Plat

PZ-19-00037(38)

Location Map

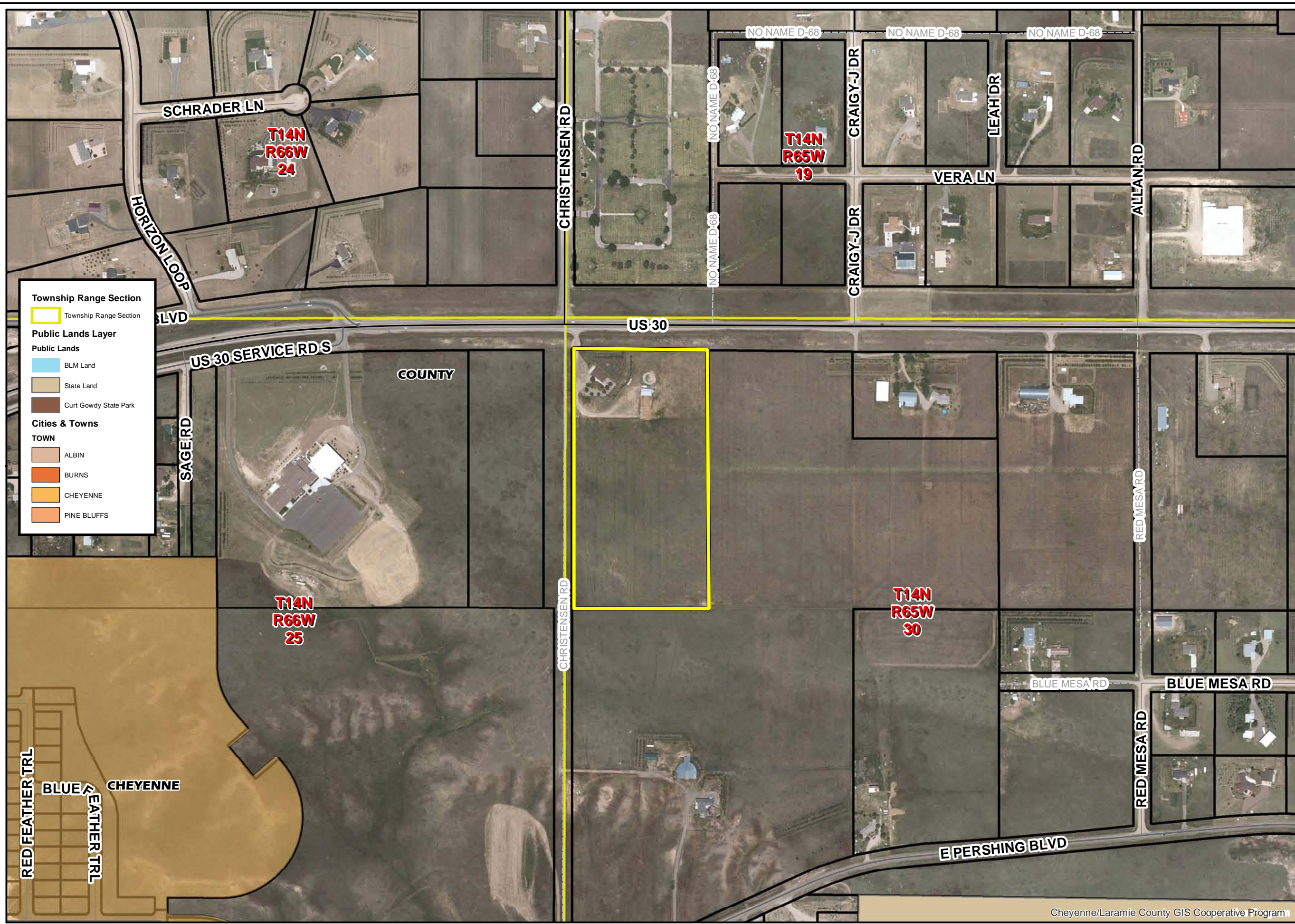
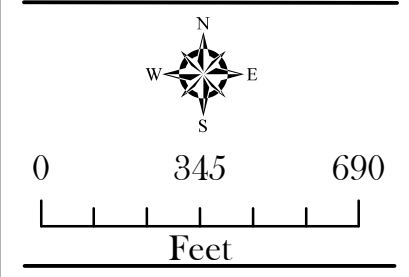
SUBJECT PROPERTY



LEGEND

Streets	
Classification	
	Interstate
	Arterial
	Collector
	Local
	Platted, Not Built
	Private
	Property Lines

Printed on Feb 25, 2019



Township Range Section	
	Township Range Section
Public Lands Layer	
Public Lands	
	BLM Land
	State Land
	Curt Gowdy State Park
Cities & Towns	
TOWN	
	ALBIN
	BURNS
	CHEYENNE
	PINE BLUFFS

Cheyenne/Laramie County GIS Cooperative Program

This map is made possible through the Cheyenne and Laramie County Cooperative GIS Program (CLCCGIS). The data contained herein was collected for its use and is for display and planning purposes only. The CLCCGIS will not be held liable as to the validity, correctness, accuracy, completeness, and/or reliability of the data. The CLCCGIS furthermore assumes no liability associated with the use or misuse of this information.

Laramie County, Wyoming



Mesa Tracts
3rd Filing

Zone Change
Subdivision Permit & Plat

PZ-19-00037(38)

Aerial Map

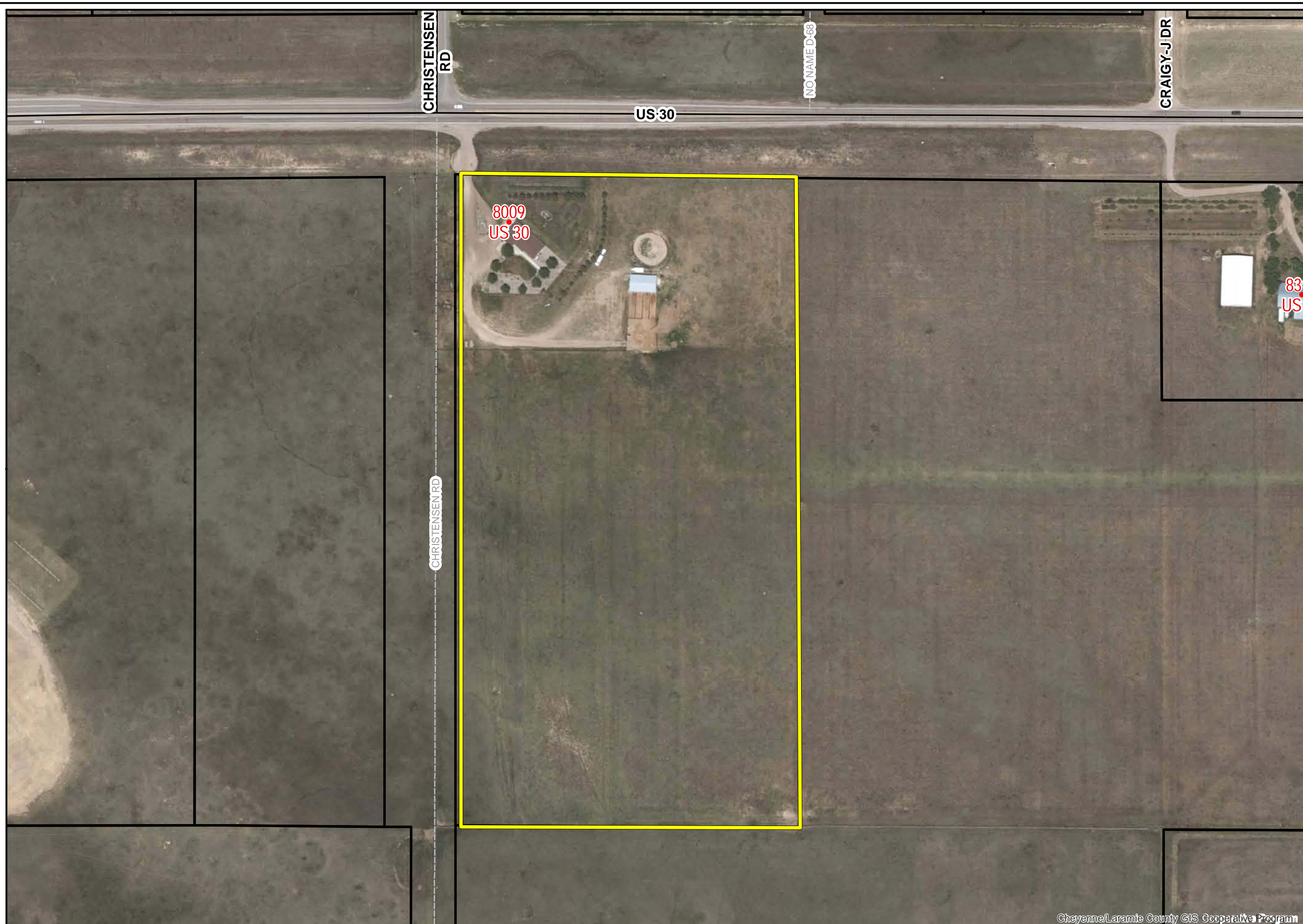
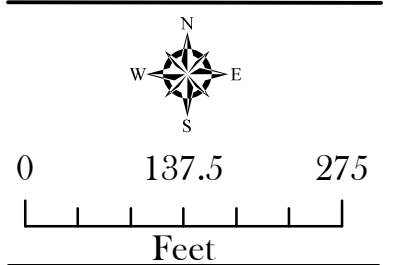
SUBJECT PROPERTY



LEGEND

- Streets**
Classification
- Interstate
 - Arterial
 - Collector
 - Local
 - - - - Platted, Not Built
 - - - - Private
 - ▭ Property Lines
 - Addresses

Printed on Feb 25, 2019



Cheyenne/Laramie County GIS Cooperative Program

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Laramie County, Wyoming



Mesa Tracts
3rd Filing

Zone Change
Subdivision Permit & Plat

PZ-19-00037(38)

Comprehensive Plan
Map

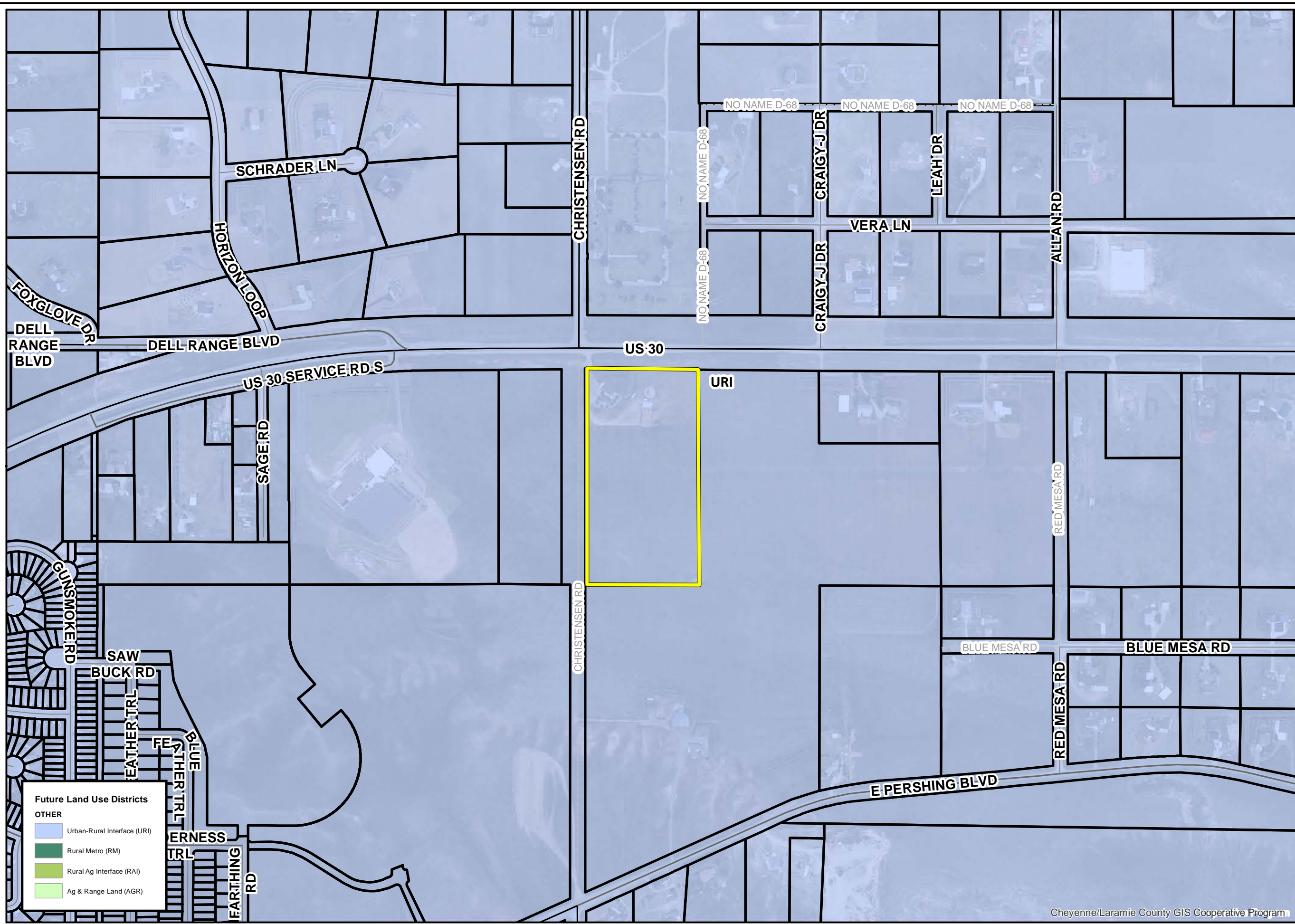
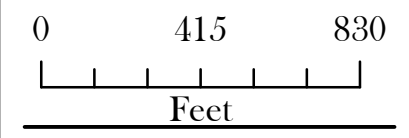
SUBJECT PROPERTY



LEGEND

Streets	
Classification	
	Interstate
	Arterial
	Collector
	Local
	Platted, Not Built
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	Property Lines

Printed on Feb 25, 2019



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Laramie County, Wyoming



Mesa Tracts
3rd Filing

Zone Change
Subdivision Permit & Plat

PZ-19-00037(38)

PlanCheyenne Map

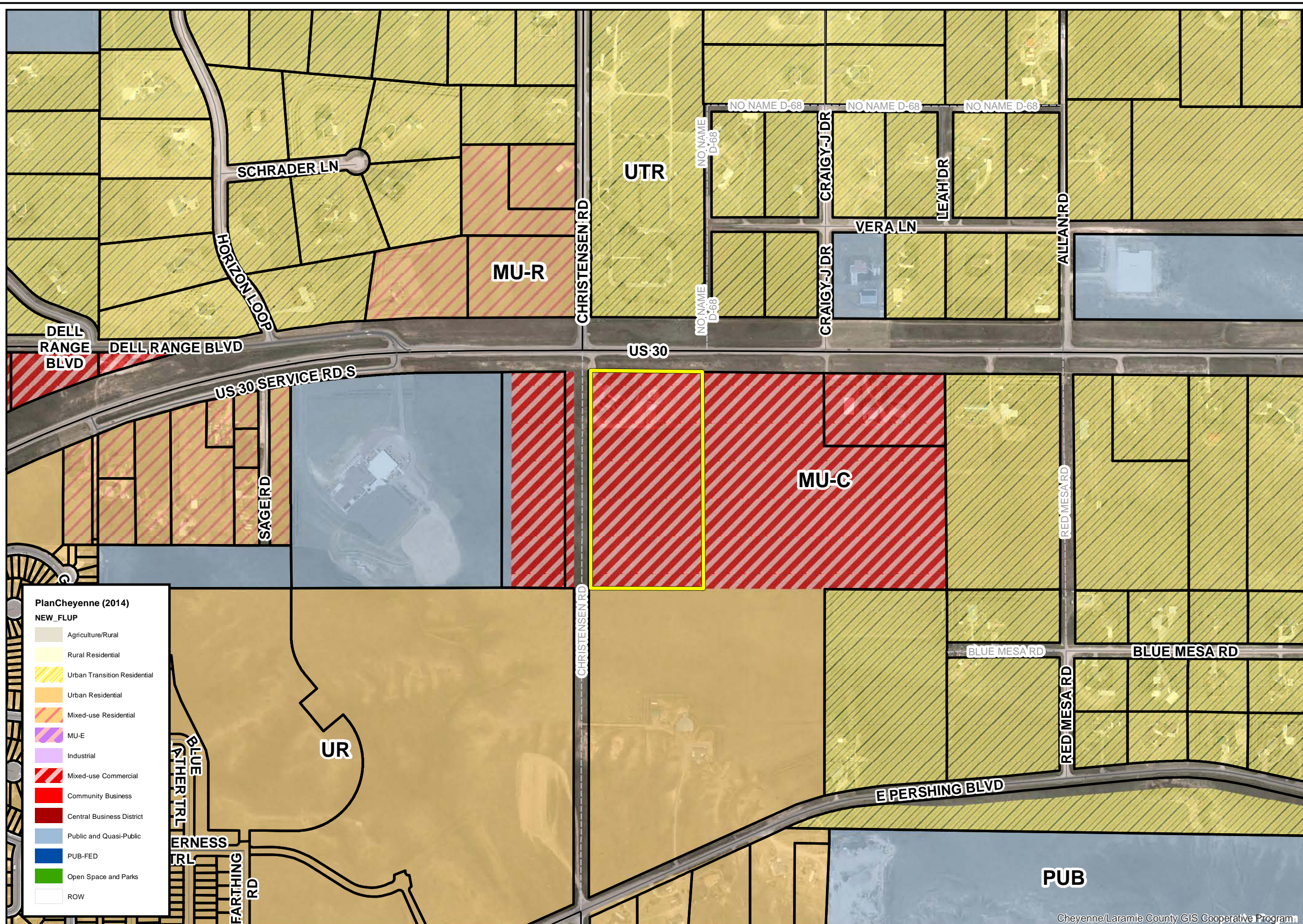
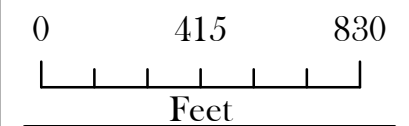
SUBJECT PROPERTY



LEGEND

Streets	
Classification	
	Interstate
	Arterial
	Collector
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	Private
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Printed on Feb 25, 2019



PlanCheyenne (2014)	
NEW_FLUP	
	Agriculture/Rural
	Rural Residential
	Urban Transition Residential
	Urban Residential
	Mixed-use Residential
	MU-E
	Industrial
	Mixed-use Commercial
	Community Business
	Central Business District
	Public and Quasi-Public
	PUB-FED
	Open Space and Parks
	ROW

Cheyenne/Laramie County GIS Cooperative Program

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County Engineer: Scott Larson COMMENTS ATTACHED 03/08/2019

Under General Information on the Zone Change map, it indicates there are 2 lots, but the Zone Change map only shows one Tract and not two. This was more than likely copied from the plat map, but isn't applicable for the Zone Change Map.

WYDOT: Randy Griesbach COMMENTS ATTACHED 03/07/2019

In order to protect the Transportation Commission interest in the highway, and to anticipate any future changes to the highway, the preferred interest is fee ownership by the Transportation Commission to handle the right of way in the best manner and avoid any possible legal or access issues in the future. The most appropriate and desirable course for this development would be to transfer the 1.55 acres, shown as dedicated to the public on the plat, to the Transportation Commission by Warranty Deed or Quit Claim deed. That area would then be removed from the plat boundary, and would not require Transportation Commission approval.

Planners: Bryan Nicholas COMMENTS ATTACHED 03/08/2019

1. For the purposes of a Zone Change Map, existing conditions should be removed from the map.
2. Information, land use, and current zoning of adjacent properties need to be shown on the map.
3. Legal description should be for the existing property, and not reflect the new legal for the proposed subdivision.

Cheyenne Development Services: Seth Lloyd COMMENTS ATTACHED 03/08/2019

Please see the plat for official comments from the City to the Board of County Commissioners on the platting action.

PlanCheyenne identifies this area as Mixed-use Commercial and within the Urban Service Boundary. The future uses anticipated on this property would include a mix of commercial and residential uses at an urban density with full connection to urban services. The proposed zoning appears in line with the future land use designation of the property, though the actual development of the subject property with an urban-level mix of uses would likely require annexation.

AGENCIES WITH NO COMMENTS:

County Assessor
County Public Works Department
Environmental Health Department
Sheriff's Office
Planners

AGENCIES WITH NO RESPONSE:

Cheyenne MPO

Cheyenne Development Services

County Attorney

County Real Estate Office

County Treasurer

County Conservation District

Wyoming State Engineer's Office

US Post Office

Combined Communications Center

Emergency Management

Fire District No. 2

High West Energy

CenturyLink

Cheyenne Engineering Services

Laramie County Weed & Pest



A COMMUNITY OF CHOICE

Planning and Development Department
2101 O'Neil Avenue, Suite 202, Cheyenne WY 82001
(Phone) 307-637-6282 (Fax) 307-637-6366

March 8, 2019

Board of County Commissioners
310 W 19th St #320
Cheyenne, WY 82001

RE: Mesa Tracts, 3rd Filing City Comments

Board of County Commissioners,

In compliance with W.S. 34-12-103 (b) the City hereby submits the following comments regarding the Mesa Tracts, 3rd Filing plat:

1. Future annexation of the property will prompt review by the City. Concurrent with annexation by petition, public improvements to streets may be required; driveway accesses will be reviewed for conformance with City standards and may require modification; and Community Facility Fees will be required to be paid to the City.

I do not believe that there are any items of disagreement that warrant a response by the Board of County Commissioners pursuant to W.S. 34-12-103-(b).

Thank you,

Charles W. Bloom, AICP
Planning and Development Director

County Assessor: Clarice Blanton COMMENTS ATTACHED 02/27/2019

We are currently assessing Holly Bruegman for Tract 8, Mesa Tracts. As of February 26th, no document has been recorded transferring Ms. Bruegman's interest to another party. Until such time the Dedication should state Holly Bruegman is the owner in fee simple.

Mesa Tracts, in the Dedication, has an extra 'A'.

County Real Estate Office: Laura Pate COMMENTS ATTACHED 02/28/2019

Owner of majority of Tract 8 is Holly Bruegman. Plat needs to be signed and notarized to match her name on her deed.

County Engineer: Scott Larson COMMENTS ATTACHED 03/08/2019**Engineer Review**

1. The Traffic waiver request letter indicates, "The proposed final plat proposes a 40'x80' Joint access easement at the current driveway access at Christensen Road" but this easement is not shown on the plat drawing.
2. I concur with the request for a waiver of a detailed Traffic Study and Drainage Study since there is no significant increase with either traffic or drainage for this development.
3. In the second paragraph of the Dedication, it says "Mesaa" and it should be "Mesa".
4. Since this is within one mile of the City, shouldn't there be a place in the approvals for the Mayor to sign?

Surveyor Review

1. The subdivision falls within one (1) mile of the city limits of Cheyenne, it should have survey tie(s) by bearing/azimuth and the distance to two (2) of the City of the City of Cheyenne's Horizontal Control Network monuments accurately described on the plat.
2. Some of the text/labels are very small and difficult to clearly distinguish, it would help if they were a little larger, this could become more problematic if they are copied or scanned again.
3. The total width of CHRISTENSEN ROAD is not clearly identified. Labeling this will add clarity to the intended use of the 10' City of Cheyenne strip along the East edge of CHRISTENSEN ROAD.
4. The Gross Acreage of Tract 1 does not appear to be correct, it may be a typographical error. With rough calculations I arrive at ±7.01 acres.

Environmental Health Department: Roy Kroeger COMMENTS ATTACHED 03/07/2019

Laramie Co Small Wastewater System Regulations.

A copy of the signed final plat shall be on file with Environmental Health prior to the application for any small wastewater system permit on the undeveloped tract.

WYDOT: Randy Griesbach COMMENTS ATTACHED 03/07/2019

In order to protect the Transportation Commission interest in the highway, and to anticipate any future changes to the highway, the preferred interest is fee ownership by the Transportation Commission to handle the right of way in the best manner and avoid any possible legal or access issues in the future. The most appropriate and desirable course for this development would be to transfer the 1.55 acres, shown as dedicated to the public on the plat, to the Transportation Commission by Warranty Deed or Quit Claim deed. That area would then be removed from the plat boundary, and would not

require Transportation Commission approval.

Any work in the WYDOT R/W will need permit or license. This includes fencing, landscaping and utilities. Existing access to US 30 to be removed on the Christensen Rd construction project.

It is assumed that a chance for review of traffic impacts and drainage changes would coincide with site specific development. Stormwater discharge would need to be limited to not greater than historic rates for any drainage that enters WYDOT R/W. Maintain historic drainage patterns so that drainage is not diverted to other entry points to the R/W.

Planners: Bryan Nicholas COMMENTS ATTACHED 03/08/2019

1. Clerical issues need to be addressed prior the Planning Commission meeting on the 28th, please submit a revised plat before Tuesday the 19th.
2. The Plat is in conformance with Section 2-1-101(a-e) of the LCLUR.

Cheyenne Development Services: Seth Lloyd COMMENTS ATTACHED 03/08/2019
Official Comments pursuant to State Statute are attached.

Other comments from City Staff:

1. The Flood Insurance Rate Map (FIRM) panel(s) cited on all documents is incorrect.
2. Access from Lot 1 will be close to a major arterial intersection. As this develops access should be provided from an internal drive to Lot 2 or to the east.
3. Both Christensen and Highway 30 need identified within the plat boundaries as dedicated Rights-of-way for such.
4. Mesa is misspelled in the Dedication statement.

AGENCIES WITH NO COMMENTS:

County Public Works Department
Sheriff's Office
Planners

AGENCIES WITH NO RESPONSE:

Cheyenne MPO
Cheyenne Development Services
County Attorney
County Treasurer
County Conservation District
WY State Historic Preservation
Wyoming Game & Fish
US Post Office
Combined Communications Center
Emergency Management
Fire District No. 2
High West Energy
CenturyLink
Laramie County Weed & Pest



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I do not believe that there are any items of disagreement that warrant a response by the Board of County Commissioners pursuant to W.S. 34-12-103-(b).

Thank you,

Charles W. Bloom, AICP
Planning and Development Director



Steil Surveying Services

Professional Land Surveyors & Development Specialists

February 4, 2019

Laramie County Planning & Development Office
3966 Archer Parkway
Cheyenne, WY 82007
(307) 633-4303

InRe: Request for waiver of the Traffic Study, Drainage Report & GESC requirements for a Final Plat, to be known as MESA TRACTS, 3rd FILING, a subdivision of Tract 8, Mesa Tract, Laramie County, WY (±19.91 acres)

Steil Surveying Services, agent for the owners, intends to plat the above-noted property into two tracts; one for the existing residential use and another for potential commercial or residential use. The plat is accompanied by a Zone Change to MU – Mixed-Use to allow the existing residential use to remain while allowing for potential commercial use of the remaining ±12 acres. Following the pre-application meeting, this letter is submitted, on behalf of the owner, requesting a waiver from the requirements for a Traffic Study, Drainage Report, and GESC Permit pursuant to Sections 2-1-100.b, 3-1-105, 3-5-105, and 3-2-102 of the Laramie County Land Use Regulations.

No portion of the proposed subdivision falls within a FEMA 100-year Special Flood Hazard Area per F.I.R.M PANEL No. 56021C1114F; dated January 17, and given the lack of existing drainage/flood problems in the area and the minimal scope of proposed development, we are requesting a waiver from any detailed drainage study.

The proposed final plat proposes a “40’x80’ Joint access easement at the current driveway access at Christensen Road. Preliminary traffic generation numbers are provided on the Existing Conditions Map as follows:

TRAFFIC AND TRIP GENERATION BY USE			
SINGLE-FAMILY RURAL RESIDENTIAL			
AVERAGE DAILY TRIPS			
Existing use	1 Unit x 6 ADT	=	6
Proposed additional	1 Units x 6 ADT	=	6
<hr/>			
TOTAL	12 AVERAGE DAILY TRIPS (ADT)		
A.M./P.M. PEAK-HOUR TRIPS			
Existing platted lots	1 Units x 1.6/Unit	=	1.6
Proposed additional	1 Units x 1.6/Unit	=	1.6
<hr/>			
TOTAL	3.2 PEAK HOUR TRIPS		

Given these preliminary plans and analyses, prior reviews and approvals, limited surface runoff increases, and/or potential of significant traffic generation, or alternative transportation network connections, we respectfully submit this waiver request on behalf of the owner.

Please contact us with any questions or concerns.

Sincerely,

Casey L. Palma, AICP
Steil Surveying Services, LLC
CPalma@SteilSurvey.com

**LARAMIE
COUNTY**

FEB 15 2019

**PLANNING & DEVELOPMENT
OFFICE**



Steil Surveying Services

Professional Land Surveyors & Development Specialists

February 4, 2019

Laramie County Planning & Development Office
3966 Archer Parkway
Cheyenne, WY 82009
(307) 633-4303

InRe: Community Facility Fees for a Final Plat, to be known as *MESA TRACTS, 3rd FILING*, a subdivision of Tract 8, Mesa Tracts Laramie County, WY (±19.91 acres)

To whom it may concern:

Steil Surveying Services, agent for the owner(s), provides this letter on their behalf, confirming that the owner intends to pay the appropriate Community Facility Fee(s) at the appropriate time to the proper authority, pursuant to §§1-1-106 of the Laramie County Land Use Regulations.

Thank you.

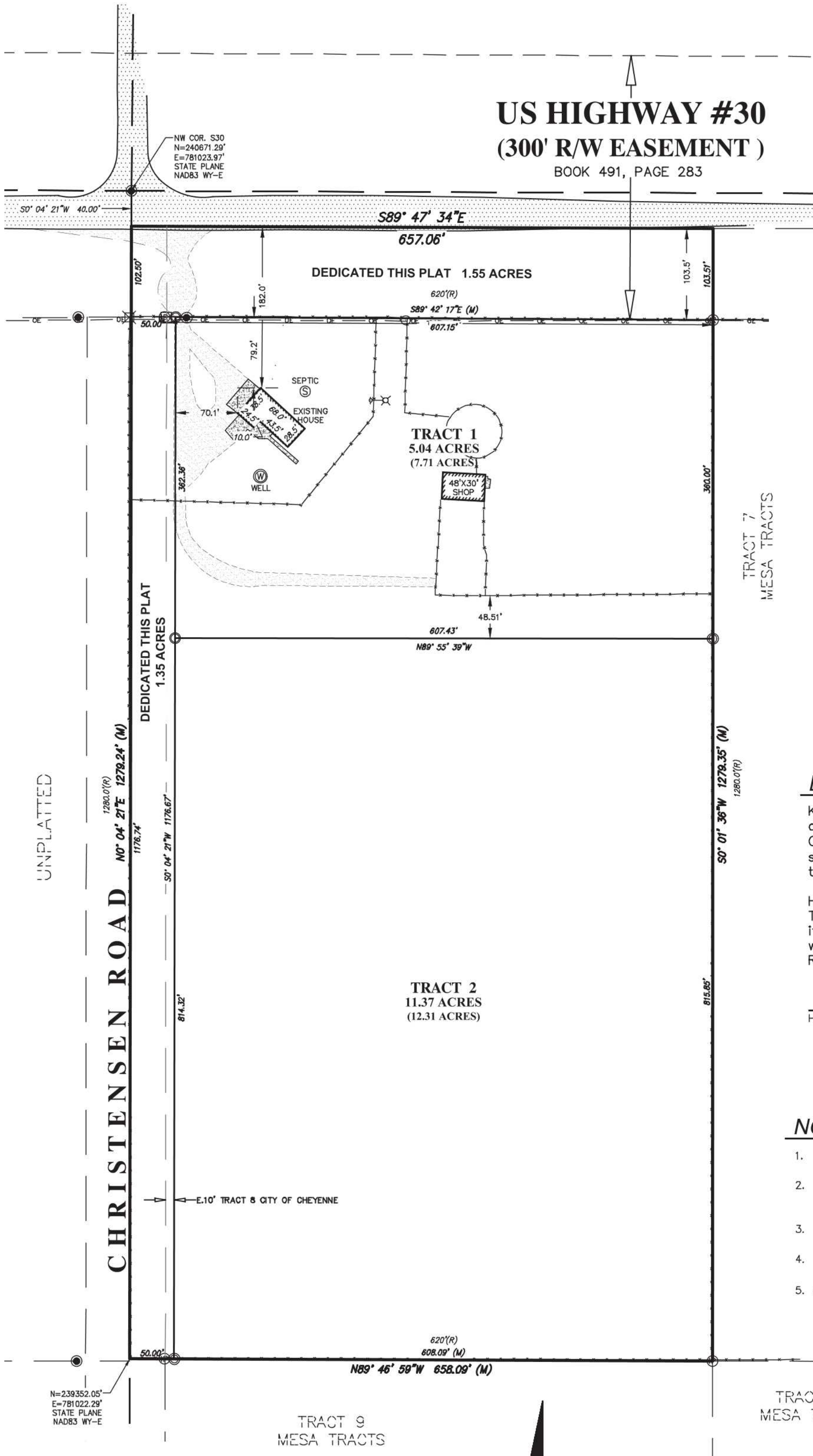
Casey Palma
Steil Surveying Services, LLC
CPalma@SteilSurvey.com

LARAMIE
COUNTY

FEB 15 2019

PLANNING & DEVELOPMENT
OFFICE

NO PROPOSED CENTRAL WATER SUPPLY SYSTEM □ NO PROPOSED CENTRALIZED SEWAGE SYSTEM □ FIRE PROTECTION TO BE PROVIDED BY FIRE DISTRICT #2 □ THE SURFACE ESTATE OF THE LAND TO BE SUBDIVIDED IS SUBJECT TO FULL AND EFFECTIVE DEVELOPMENT OF THE MINERAL ESTATE □ UNPLATTED



**US HIGHWAY #30
(300' R/W EASEMENT)**
BOOK 491, PAGE 283

LEGEND

- SET 1½" ALUMINUM CAP STAMPED "SSS PLS 5910" ON 5/8" x 24" REBAR
- FOUND 1½" ALUMINUM CAP STAMPED "SSS PLS 2500"
- ⊗ FOUND 5/8" REBAR
- ⊙ FOUND ½" IRON PIPE
- ⊠ FOUND BOLT
- FOUND WYDOT R/W MONUMENT
- (M) DENOTES MEASURED DATA THIS SURVEY
- (R) DENOTES RECORD DATA PER MESA TRACTS
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD ELECTRIC LINES
- x— EXISTING FENCE LINE
- ▨ EXISTING BITUMINOUS SURFACE
- ▩ EXISTING CONCRETE SURFACE
- ▧ EXISTING GRAVEL SURFACE

DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT: The City of Cheyenne, owner in fee simple of the West 10 feet of Tract 8, Mesa Tracts, Laramie County, Wyoming AND Holly Allison (AKA Holly Bruegman), owner in fee simple of all of Tract 8, Archer Estates, Laramie County, Wyoming LESS the West 10 feet of said Tract;

Have caused the same to be surveyed, platted and known as MESAA TRACTS, 3rd FILING and do hereby declare the subdivision of said land as it appears on this plat, to be their free act and deed and in accordance with their desires and do furthermore dedicate to the public the Rights-of-Way as shown hereon.

Holly Allison as Holly Bruegman Mayor Marian J. Orr for the City of Cheyenne

NOTES

1. BASIS OF BEARINGS: WYOMING STATE PLANE COORDINATES, EAST ZONE, NAD83-2011, US SURVEY FEET. GRID DISTANCES. COMBINATION FACTOR = 0.999665203
2. ELEVATIONS: NAVD88, BASED ON BENCHMARK C-90ALL TRACT CORNERS, ANGLE POINTS AND CURVE POINTS TO BE MONUMENTED WITH A SET 5/8" X 24" LONG REBAR WITH 1½" ALUMINUM CAP STAMPED "SSS PLS 5910". UNLESS NOTED OTHERWISE.
3. NO PORTION OF THIS PLAT FALLS WITHIN A FEMA SPECIAL 100-YEAR FLOOD HAZARD AREA AS SHOWN ON F.I.R.M PANEL #56021C1120F; DATED JANUARY 17, 2007.
4. ALL WELLS AND SEPTIC SYSTEMS SHALL COMPLY WITH ALL APPLICABLE ORDINANCE(S), RULES AND REGULATIONS.
5. (_) ACRES) DENOTES GROSS ACREAGE OF LOT (TO ¼ OF ADJACENT RIGHT-OF-WAY.

CERTIFICATE OF SURVEYOR

I, Jeffrey B. Jones, A Licensed Professional Land Surveyor in the State of Wyoming, for and on behalf of Steil Surveying Services, LLC, hereby state, to the best of my knowledge, information and belief, that this map was prepared from field notes taken during an actual survey made by me or under my direct supervision; and that this map correctly shows the results of said survey and that the monuments found or set are as shown.

**MESA TRACTS
3rd FILING
EXISTING CONDITIONS**

A REPLAT OF TRACT 8, MESA TRACTS AND A PORTION OF ADJACENT RIGHTS-OF-WAY SITUATED IN THE NW¼NW¼, SECTION 30, T.14N, R.65W., 6th P.M. LARAMIE COUNTY, WYOMING

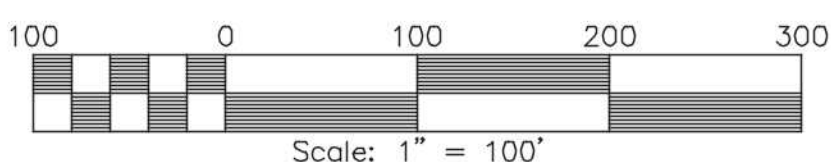
PREPARED JANUARY 2019



STEIL SURVEYING SERVICES, LLC
PROFESSIONAL LAND SURVEYORS
PLANNING & DEVELOPMENT SPECIALISTS
1102 WEST 19th ST. CHEYENNE, WY. 82001 ○ (307) 634-7273
756 GILCHRIST ST. WHEATLAND, WY. 82201 ○ (307) 322-9789
www.SteilSurvey.com ○ info@SteilSurvey.com

VACATION STATEMENT

IT IS THE INTENT OF THIS REPLAT TO VACATE ALL OF TRACT 8, MESA TRACTS



GENERAL INFORMATION

TOTAL PLAT AREA : ±19.31 ACRES
PUBLIC R/W DEDICATED : ±2.90 ACRES

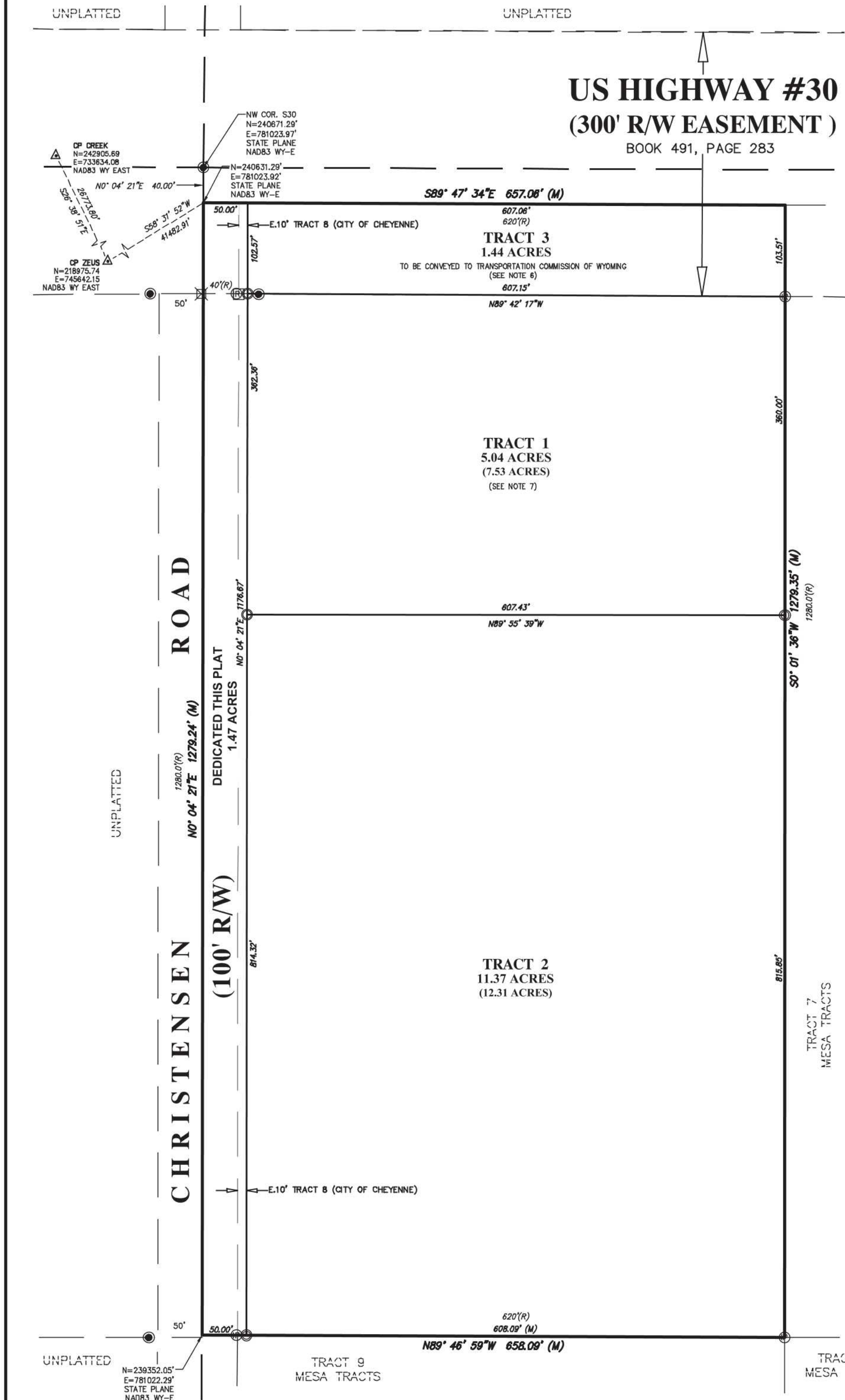
NUMBER OF LOTS: 2
NUMBER OF RESIDENTIAL LOTS: 2
AVERAGE LOT SIZE (DENSITY) : 8.21 ACRES (NET)

EXISTING ZONE DISTRICT:
A-1 - AGRICULTURAL
PROPOSED ZONE DISTRICT:
MU - MIXED-USE

VICINITY MAP



NO PROPOSED CENTRAL WATER SUPPLY SYSTEM NO PROPOSED CENTRALIZED SEWAGE SYSTEM FIRE PROTECTION TO BE PROVIDED BY FIRE DISTRICT # 2
 THE SURFACE ESTATE OF THE LAND TO BE SUBDIVIDED IS SUBJECT TO FULL AND EFFECTIVE DEVELOPMENT OF THE MINERAL ESTATE



DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT: The City of Cheyenne, owner in fee simple of the West 10 feet of Tract 8, Mesa Tracts, Laramie County, Wyoming (Book 2583, Page 2236) AND Holly Allison, owner in fee simple of all of Tract 8, Mesa Tracts, Laramie County, Wyoming LESS the West 10 feet of said Tract;

Have caused the same to be surveyed, platted and known as : MESA TRACTS, 3rd FILING and do hereby declare the subdivision of said land as it appears on this plat, to be their free act and deed and in accordance with their desires and do furthermore dedicate to the public the Right-of-Way as shown hereon.

Mayor Marian J. Orr for the City of Cheyenne

Holly Allison

ACKNOWLEDGEMENTS

STATE OF WYOMING)
) SS
 COUNTY OF LARAMIE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019 by Holly Allison.

Notary Public, Laramie County, Wyoming

My Commission Expires: _____

STATE OF WYOMING)
) SS
 COUNTY OF LARAMIE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2019 by Mayor Marian J. Orr, on behalf of the City of Cheyenne, owner of the west 10 feet of Tract 8, Mesa Tracts.

Notary Public, Laramie County, Wyoming

My Commission Expires: _____

NOTES

- BASIS OF BEARINGS: WYOMING STATE PLANE COORDINATES, EAST ZONE, NAD83-2011, US SURVEY FEET. GRID DISTANCES. COMBINATION FACTOR = 0.999665203
- ALL TRACT CORNERS, ANGLE POINTS AND CURVE POINTS TO BE MONUMENTED WITH A SET 5/8" X 24" LONG REBAR WITH 1 1/2" ALUMINUM CAP STAMPED "SSS PLS 5910". UNLESS NOTED OTHERWISE.
- NO PORTION OF THIS PLAT FALLS WITHIN A FEMA SPECIAL 100-YEAR FLOOD HAZARD AREA AS SHOWN ON F.I.R.M PANEL #56021C1120F; DATED JANUARY 17, 2007.
- ALL WELLS AND SEPTIC SYSTEMS SHALL COMPLY WITH ALL APPLICABLE ORDINANCE(S), RULES AND REGULATIONS.
- DENOTES GROSS ACREAGE OF LOT (TO ☉ OF ADJACENT RIGHT-OF-WAY)
- TRACT 3 HEREON IS CONSIDERED AN UNBUILDABLE LOT AND IS TO BE CONVEYED TO THE TRANSPORTATION COMMISSION OF WYOMING FOLLOWING RECORDING OF THIS PLAT FOR THE PURPOSE OF STATE HIGHWAY RIGHT-OF-WAY AND SUBJECT TO THAT "300' Right-of-Way Easement" recorded October 16, 1950 in Book 491, Page 283 in the Real Estate Office of the County Clerk of Laramie County, Wyoming.
- AS THE PUBLIC R/W USE (TRACT 3) WILL BE RETAINED, GROSS ACREAGE OF TRACT 1 HEREON IS CALCULATED AT 7.53 ACRES. (____ ACRES)

APPROVALS

Approved by the Laramie County Planning Commission this ____ day of _____, 2019.

Chairman

Approved by the Board of Commissioners of Laramie County, Wyoming this ____ day of _____, 2019.

Chairman

ATTEST:

County Clerk

CERTIFICATE OF SURVEYOR

I, Jeffrey B. Jones, A Licensed Professional Land Surveyor in the State of Wyoming, for and on behalf of Steil Surveying Services, LLC, hereby state, to the best of my knowledge, information and belief, that this map was prepared from field notes taken during an actual survey made by me or under my direct supervision; and that this map correctly shows the results of said survey and that the monuments found or set are as shown.

**MESA TRACTS
 3rd FILING**

A REPLAT OF TRACT 8, MESA TRACTS AND A PORTION OF ADJACENT RIGHTS-OF-WAY SITUATED IN THE NW 1/4 NW 1/4, SECTION 30, T.14N, R.65W., 6th P.M. LARAMIE COUNTY, WYOMING

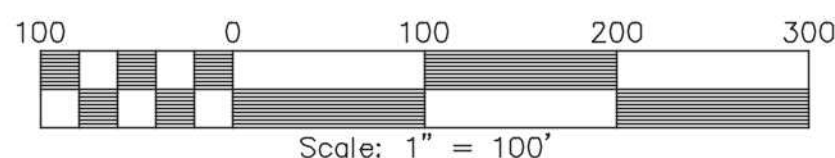
PREPARED JANUARY 2019



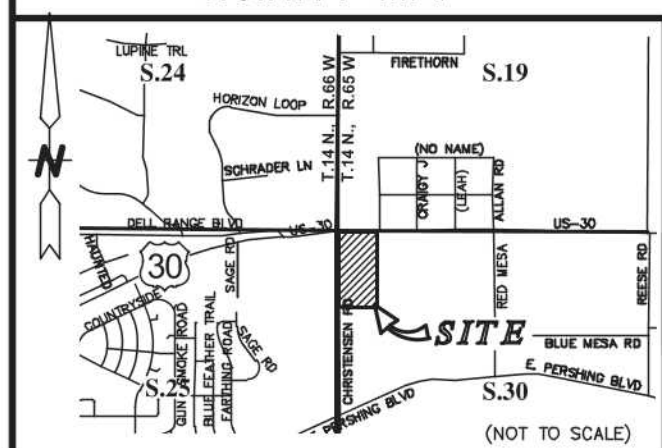
STEIL SURVEYING SERVICES, LLC
 PROFESSIONAL LAND SURVEYORS
 PLANNING & DEVELOPMENT SPECIALISTS
 1102 WEST 19th ST. CHEYENNE, WY. 82001 ☉ (307) 634-7273
 756 GILCHRIST ST. WHEATLAND, WY. 82201 ☉ (307) 322-9789
 www.SteilSurvey.com ☉ info@SteilSurvey.com

LEGEND

- SET 1 1/2" ALUMINUM CAP STAMPED "SSS PLS 5910" ON 5/8" x 24" REBAR
- FOUND 1 1/2" ALUMINUM CAP STAMPED "SSS PLS 2500"
- ⊗ FOUND 5/8" REBAR
- ⊙ FOUND 1/2" IRON PIPE
- ⊕ FOUND BOLT
- ⊠ FOUND WYDOT R/W MONUMENT
- (M) DENOTES MEASURED DATA THIS SURVEY
- (R) DENOTES RECORD DATA PER MESA TRACTS



VICINITY MAP



VACATION STATEMENT

IT IS THE INTENT OF THIS REPLAT TO VACATE ALL OF TRACT 8, MESA TRACTS

FILING RECORD

REVISED: 3/19/2019
 \19091 T8 MESA TRACTS\19091 FINAL.dwg

RESOLUTION NO. _____

**A RESOLUTION TO APPROVE A SUBDIVISION PERMIT AND PLAT FOR
MESA TRACTS, 3RD FILING, A REPLAT OF TRACT 8, MESA TRACTS,
LARAMIE COUNTY, WY.**

WHEREAS, Wyoming State Statutes §18-5-201 to 18-5-208; §18-5-301 to 18-5-315 authorize Laramie County, in promoting the public health, safety, morals and general welfare of the county, to regulate the use of land through zoning in unincorporated Laramie County; and

WHEREAS, the Laramie County Board of Commissioners previously adopted the Laramie County Land Use Regulations; and

WHEREAS, the proposed subdivision and plat is in accordance with section 2-1-101 (a-e) of the Laramie County Land Use Regulations; and

WHEREAS, this resolution is the subdivision permit for Mesa Tracts, 3rd Filing.

NOW THEREFORE BE IT RESOLVED BY THE GOVERNING BODY OF LARAMIE COUNTY, WYOMING, as follows:

The Laramie County Board of Commissioners finds that:

- a. This application is in conformance with section 2-1-101 (a-e) of the Laramie County Land Use Regulations.

And the Board approves the Subdivision Permit and Plat for Mesa Tracts, 3rd Filing.

PRESENTED, READ AND ADOPTED THIS _____ DAY OF

_____, 2019.

LARAMIE COUNTY BOARD OF COMMISSIONERS

Linda Heath, Chairman

ATTEST:

Debra K. Lee, Laramie County Clerk

Reviewed and approved as to form:

Mark T. Voss, Laramie County Attorney