



LARAMIE COUNTY PLANNING & DEVELOPMENT DEPARTMENT

Planning • Building

MEMORANDUM

TO: Laramie County Board of County Commissioners

FROM: Cate Cundall, Associate Planner

DATE: August 15, 2023

TITLE: PUBLIC HEARING regarding a Board Approval of the Meadowlark Airpark Bar Barndominium Site Plan, located in Tract 11, Meadowlark Airpark, Laramie County, WY.

EXECUTIVE SUMMARY

AVI, PC, on behalf of Western Professional Hunters, LLC, has submitted a Site Plan application for tract 11, Meadowlark Airpark. The application has been submitted for the Meadowlark Airpark Bar Barndominium. This public hearing was postponed from the July 18, 2023, meeting of the Board of County Commissioners.

Pursuant to section 2-1-103 (d)(iv) of the land use regulations site plans may require a public hearing before the Board of County Commissioners if the Planning and Development Director determines that the impacts of the proposed use will significantly impact surrounding properties.

BACKGROUND

The subject property is approximately 6.52-acres and located within the Land Use – LU Zoning District. The purpose of the proposed commercial barndominium is to serve as a full-service bar and event venue for weddings, private events, and special occasions with small gatherings. It will house a full-service bar with package liquor sales, mobile bar unit, two-bedroom apartment, and room for gatherings/events.

Pertinent Statutes and Regulations include:

Wyoming State Statute: Section 34-12-101 through 34-12-115.

Section 1-2-104 governing public notice.

Section 2-1-133 (d)(iv) governing site plans

Section 4-2-114 governing Land Use – LU zone district.

DISCUSSION

Rebecca Reid, owner of the Boujie Bailey, LLC, plans to apply for a retail liquor license. To obtain a full liquor license, the State requires a stand-alone building to serve out of a minimum of one day per week. It is planned that the business will be open four days a week: Monday, Wednesday, Friday, and Saturday, subject to change depending on private event bookings. Future expansion may include the addition of an outdoor covered venue.

The subject property is currently vacant residential land and is bordered by Skyview Estates and Go-Forth Estates Subdivisions. A two hundred fifty (250) foot wide runway is located in Skyview Estates with the interior roads used as taxiways.

Access to the bar/condominium will be via Sky Train Court, an eighty (80) foot ingress/egress easement for residents and invited guests and emergency vehicle access. The interior lots to the subdivision will be responsible for maintenance of the roads. A traffic study waiver request was submitted with the application and the county engineer concurred with this request based on the justification provided in the letter.

This property lies outside of a water and sewer district. Water and sanitary sewer will be provided by a well and septic/drainage field system for commercial operations.

A drainage study waiver was submitted and accepted as adequate for the Site Plan application. There are no FEMA Floodplains presently mapped on the site.

All agency review comments have been addressed by the applicant. Public notice was provided as required. Public comments were received regarding shared usage of the taxiways/roads by bar patrons, location of a bar in a residential area, a bar adjacent to an airfield is not safe, and the subdivision was designed for residential use and did not have a commercial element to it.

Planning staff believes it is prudent that Laramie County provide a resolution for the site plan with allowable intensity of use conditions to address concerns expressed by neighbors.

RECOMMENDATION and FINDINGS

Based on evidence provided, staff recommends the Board of County Commissioners find that:

- a. This application meets the criteria for a site plan pursuant to section 2-1-133 of the Laramie County Land Use Regulations.
- b. This application is in conformance with section 4-2-114 governing the LU – Land Use zone district.
- c. The applicant desires for the Board to determine an allowable intensity of use for the Meadowlark Airpark Bar.

and that the Board approve the Meadowlark Airpark Bar Barndominium Site Plan for Tract 11, Meadowlark Airpark, Laramie County, WY, and determine an allowable intensity of use for the Bar.

PROPOSED MOTION

I move to adopt the findings of facts a, b, and c of the staff report, to approve the Meadowlark Airpark Bar Barndominium Site Plan for Tract 11, Meadowlark Airpark with one condition of the intensity of use as decided upon.

- 1. The allowable intensity of use shall be established by the Laramie County Board of Commissioners**

ATTACHMENTS

- Attachment 1: Vicinity Map**
- Attachment 2: Project Narratives**
- Attachment 3: Agency Review Comments and Applicant Response**
- Attachment 4: Public Comments**
- Attachment 5: Business Plan**
- Attachment 6: Building Plans**
- Attachment 7: Meadowlark Airpark Plat and Resolution**
- Attachment 8: Revised Site Plan and Landscape Plan 8.7.23**



Laramie County Wyoming

**Meadowlark Bar
Barndominium
Site Plan**

PZ-23-00073

Land Use (LU) Zone District

Fire District 6

AMEC Zone 2

**Laramie County
Comprehensive Plan
Agricultural Range Land (AGR)**





May 25, 2023
4653

Justin Arnold, Laramie County Planning
3931 Archer Parkway
Cheyenne, WY 82009

**RE: 4653 MEADOWLARK AIRPARK BAR BARNDOMINIUM SITE PLAN – UPDATED
PROJECT NARRATIVE**

Dear Mr. Arnold,

AVI, P.C. on behalf of Western Professional Hunters, LLC has submitted a Site Plan for a barndominium located at Meadowlark Airpark, Tract 11. This facility will have a bar located on the main floor and a two-bedroom apartment above.

The purpose of the proposed commercial barndominium is to satisfy the requirements of the State of Wyoming Liquor Licensing Division. To obtain a full liquor license, the State requires a stand-alone building to serve out of at least once a week. This project will only be open to serve one day a week. The applicant will be storing their mobile unit at this location which also has a two-bedroom apartment. If the applicant wishes to expand the operation in the future, they will seek an agreeable intensity of use by the Board.

If you have any questions or would like to discuss this project in greater detail, please contact our office.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Kelly Schroeder', is written over a light blue grid background.

Kelly Schroeder, Planner

A.V.I. PROFESSIONAL CORPORATION

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May 26, 2023
4653

Justin Arnold, Laramie County Planning
3931 Archer Parkway
Cheyenne, WY 82009

**RE: 4653 MEADOWLARK AIRPARK BAR BARNDOMINIUM SITE PLAN – UPDATED
PROJECT NARRATIVE**

Dear Mr. Arnold,

AVI, P.C. on behalf of Western Professional Hunters, LLC (project owner) has submitted a Site Plan for a barndominium located at Meadowlark Airpark, Tract 11. This facility will have a bar located on the main floor and a two-bedroom apartment above.

The purpose of the proposed commercial barndominium is to satisfy the requirements of the State of Wyoming Liquor Licensing Division. To obtain a full liquor license, the State requires a stand-alone building to serve out of at least once a week. Rebecca Reid, owner of Boujie Bailey, LLC (project applicant), plans to apply for the 5.5 miles out County liquor license full retail and use this location to store the business's mobile unit. The permanent facility will only be open one day a week for service.

Once the applicant has completed all necessary site plan and building permit requirements, and has had inspections done by Environmental Health and the State, they will be able to apply for the liquor license described above. If the applicant wishes to expand the operation in the future, they will seek an agreeable intensity of use by the Board.

If you have any questions or would like to discuss this project in greater detail, please contact our office.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Kelly Schroeder', is written over a light blue grid background.

Kelly Schroeder, Planner

A.V.I. PROFESSIONAL CORPORATION

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May 11, 2023
4653

Justin Arnold, Laramie County Planning
3931 Archer Parkway
Cheyenne, WY 82009

**RE: 4653 MEADOWLARK AIRPARK BAR BARNDOMINIUM SITE PLAN – PROJECT
NARRATIVE, WAIVER REQUESTS**

Dear Mr. Arnold,

AVI, P.C. on behalf of Western Professional Hunters, LLC is submitting a Site Plan for a barndominium located at Meadowlark Airpark, Tract 11. This facility will have a bar located on the main floor and a two-bedroom apartment above.

We would like to request a waiver from providing a drainage study for this project. The total impervious area of 4650 square feet will be similar to the surrounding single-family homes, which is what this area was designed to accommodate during the subdivision process.

Furthermore, this impervious area accounts for less than 2% of the site total (4650 SF/284446 SF = 0.016), which is unlikely to create any drainage problems on the site.

We would also like to request a waiver from providing a traffic study for this project. According to the enclosed building plans, the bar area will have a total occupancy of 19 people (15 at tables, 2 standing, and 2 employees). Assuming turnover of this maximum capacity 3 times a night, the anticipated number of daily trips would be 57. This is less than the 100 trips an hour or 200 trips per day that would trigger the requirement of a traffic study.

If you have any questions or would like to discuss this project in greater detail, please contact our office.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Kelly Schroeder', is positioned above the printed name.

Kelly Schroeder, Planner

A.V.I. PROFESSIONAL CORPORATION

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PZ-23-00073-Meadowlark Bar Barndominium
Site Plan: New and Major Amendments
Agency Review #1

County Attorney: County Attorney, LC Attorney's Office Comments Attached
05/19/2023

Well and septic need to be applied for and approved by EH

Lot size is in compliance with the AMEC memo
undefined

County Engineer: County Engineer, Scott Larson Comments Attached 05/19/2023

1. I concur with the request for a waiver of a detailed Drainage Study and Traffic Study since this development will have negligible impact on both.
2. Per the LCLUR, the minimum driveway and approach is 30' and the site plan drawing shows it at only 20'.
3. Are there enough parking spaces being provided with only 3? The project narrative indicates there will be 2 employees (which will utilize 2 parking spaces) and that only leaves one parking space and one handicapped space. The narrative indicates an occupancy of 19 people. Even if you assume 4 people per vehicle, that indicates 5 vehicles and then you add the 2 employee's vehicles and that is a total of 7 spaces needed. Generally, you would assume 1.5 - 2 people per vehicle which would take you up to 12 - 15 spaces needed for patrons and employees.
4. Will there be a sign for the business located near the entrance?

County Public Works Department: County Public Works Department, Molly Bennett
Comments Attached 05/31/2023

1. All comments from the review engineer shall be addressed.
2. Due to the internal roads being dedicated to the public, an access permit application through Public Works is required for this tract. Call (307-633-4302) or email (permits@laramiecountywy.gov) Public Works for more information.

County Treasurer: County Treasurer, Tammy Deisch Comments Attached 05/23/2023
As of 05/23/23 - 2nd 1/2 2022 taxes delinquent/delinquent 05/10/23 - 1st 1/2 paid

Building Dept.: Building Dept., Daniel Peters Comments Attached 05/25/2023
Premises identification shall be in accordance with 2021 IFC section 505 and 2021 IRC

section 319.

2021 IFC requires water supplies to be within 400' of all new buildings.

Fire apparatus access roads required per IFC 2021 Section 503.

Building permits shall be required for all new building construction.

Laramie County has adopted the 2021 I-codes and the 2020 NEC.

Environmental Health: Environmental Health Department, Tiffany Gaertner Comments Attached 05/30/2023

A plan review, basic commercial kitchen, and a food license will be required. Bar and living quarters must be completely separate.

Septic system requires a permit and must be designed by an engineer.

Contact Environmental Health with questions (307) 633-4090.

Planners: Planners, Catherine Cundall Comments Attached 05/31/2023
All agency comments need to be addressed.

Intraoffice: Planners, Cambia McCollom Comments Attached 05/25/2023
Addresses are issued with a building permit.

No Comments

County Assessor
County Real Estate
Emergency Management
Director's Review

No Response

Combined Communication Center
Sheriff's Office
County Clerk
Fire District No 6

Cate Cundall
Laramie County Planning & Development
3966 Archer Parkway
Cheyenne, WY 82009

6/6/2023

4653

RE: Meadowlark Bar Barndominium Site Plan (PZ-23-00073)

Dear Ms. Cundall,

Attached for your review is a response letter to the County's comments on the above referenced project. The County's review comments are listed below with AVI's response or solution in red.

County Attorney

Well and septic need to be applied for and approved by EH
Lot size is in compliance with the AMEC memo

Acknowledged

County Engineer

1. I concur with the request for a waiver of a detailed Drainage Study and Traffic Study since this development will have negligible impact on both.
2. Per the LCLUR, the minimum driveway and approach is 30' and the site plan drawing shows it at only 20'.

Corrected on the revised site plan.

3. Are there enough parking spaces being provided with only 3? The project narrative indicates there will be 2 employees (which will utilize 2 parking spaces) and that only leaves one parking space and one handicapped space. The narrative indicates an occupancy of 19 people. Even if you assume 4 people per vehicle, that indicates 5 vehicles and then you add the 2 employee's vehicles and that is a total of 7 spaces needed. Generally, you would assume 1.5 - 2 people per vehicle which would take you up to 12 - 15 spaces needed for patrons and employees.

The two employees will be parking in the garage as they are the owners of the property. We have added one more striped parking space for a total of 4 plus the ADA space, as well as a designated overflow parking area that can accommodate up to 8 additional vehicles.

4. Will there be a sign for the business located near the entrance?

No, there will not be a sign for this business near the entrance.

County Public Works Department

1. All comments from the review engineer shall be addressed.

All comments have been addressed.

2. Due to the internal roads being dedicated to the public, an access permit application through Public Works is required for this tract. Call (307-633-4302) or email (permits@laramiecountywy.gov) Public Works for more information.

Acknowledged. A permit application will be submitted once the site plan is approved.

Building Dept.

Premises identification shall be in accordance with 2021 IFC section 505 and 2021 IRC section 319.

2021 IFC requires water supplies to be within 400' of all new buildings.

Fire apparatus access roads required per IFC 2021 section 503.

Building permits shall be required for all new building construction.

Laramie County has adopted the 2021 O-codes and the 2020 NEC.

Acknowledged.

Environmental Health:

A plan review, basic commercial kitchen, and a food license will be required. Bar and living quarters must be completely separate.

Septic system requires a permit and must be designed by an engineer. Contact Environmental Health with questions (307) 633-4090.

No food will be served at this establishment and there will not be a kitchen. Bar and living quarters are completely separate per submitted building plans.

Planners

All agency comments need to be addressed.

All comments have been addressed.

Intraoffice

Addresses are issued with a building permit.

Acknowledged.



If you have any questions or require additional information, please feel free to contact us.

Respectfully Submitted

AVI PROFESSIONAL CORPORATION

A handwritten signature in blue ink that reads 'Kelly Schroeder'.

Kelly Schroeder, Planner

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Gregory /BarbaraWyatt

1512 Skyway Avenue
Cheyenne, Wyoming 82009
gregpwyatt@gmail.com

May 23, 2023

Laramie County Planning & Development Department
3966 Archer Parkway
Cheyenne, Wyoming 82009

Reference Project Number: PZ-23-00073 (Meadowlark Airpark Tract 11)

Planning Department Director/Commission Members,

I am writing today to express my concern that an application is being considered to allow a commercial "Bar" in a residential development that is being marketed and built as an aviation community (Meadowlark Airpark). With all due respect, I question the common sense and sanity of anyone suggesting that building a commercial drinking establishment in a residential area where the roadways would be shared with taxing aircraft and those leaving a commercial bar after spending time consuming alcohol is a good idea.

Of course the fact that this application for a commercial Bar being located in a small residential development with likely families with young children riding bicycles, walking and playing in the area should be another common sense consideration as well, ruling out any such project approval. If such a commercial use were allowed - its an accident waiting to happen.

Please use your good judgement and deny this application for a commercial bar. It's CLEARLY a dangerous mix of alcohol, children and airplanes. The development with taxing aircraft using the same roadways with residents and visitors in cars and children and adults on foot and bicycles and every other means of movement will be dangerous enough, so why in the world would you virtually guarantee a worst case scenario by adding in commercial on premise alcohol sales?

Sincerely yours,


Gregory/Barbara Wyatt

Patrice Gapen
5301 Kennedy Drive
Cheyenne, WY 82001
307-631-0601

June 21, 2023

Laramie County Planning & Development
3966 Archer Parkway
Cheyenne, WY 82009
Website: www.laramiecountyplanning.com
Phone 307-633-4303

Dear Ms. Cate Cundall,

This letter concerns the recent application of a Site Plan for Tract 11, Meadowlark Airpark. The Bar Barn-dominium with a bar on the main floor and a two-bedroom apartment above.

As this is a new subdivision with many of the lots yet undeveloped, the potential new buyers will not have a comment period or voice in having a commercial concern inside of the neighborhood. Will these Nonparticipating Property Owner, be able to have a voice in repealing the bar if they object to a commercial business next door?

According to the 2-1-104 Development Design Standards, the purpose of the Subdivision/Development Design Standards is to ensure that the subdivision/development provides basic environmental and design principles necessary for a safe, serviceable, attractive, and healthy living environment. The Meadowlark Airpark neighborhood has a distinguishing characteristic of family housing, with children riding bikes and being able to walk in a quiet, rural area. As this planned development was laid out as a residential area. As there are no other commercial or nonresidential operations, an establishment that sells liquor and has evening hours seems to be a non-conforming operation.

Further, the building will become a mixed-use building where the primary use is commercial or non-habitation. If the lower floor is used for a bar, I'm wondering if there are going to be separate restroom for Men and Women. If there are commercial rest rooms, will the owners be required to have additional septic and leach field requirements?

Will the bar serve food? If so, will there be a commercial kitchen with stainless steel wall coverings? What about commercial sinks and counters? If so, how would this affect the resale of the building back to the original intent of a neighborhood home, when the bar is sold or closed?

How will the garbage or solid waste generated and discarded by the bar be handled? Bar refuse will include wet and dry materials including paper, plastic, cardboard products, all kitchen and table food waste, and animal proteins and vegetable waste that results from the storage, preparation, cooking, or handling of food stuffs to be handled. 2-1-104 Development Section g (iii) specifically discusses the solid waste disposal systems stating that "approval ... shall be contingent upon a demonstration that an adequate solid waste disposal system. Has the additional trash removal been specified? I can envision the strong winds in the area, scattering trash across the neighborhood.

Another concern is the traffic and parking. Section 2-2-114 states "Home occupations ... shall not create adverse impacts to neighborhood, including significant increases in traffic and on- street parking".

As customers are likely not to live in the neighborhood and will bring their vehicle into the subdivision to utilize the bar how will this adversely affect the neighborhood? Additional parking will be required and will likely violate Laramie County Land Use Regulations Amended January 1, 2020, for setbacks and yard requirements. Parking is thoroughly discussed on page 37 to 42. Will the bar owner meet these requirements? On page 32, parking space must meet the minimum dimension requirements and be surfaced with either asphalt or concrete. Will the bar owner pave their front yard? If so, will this cause drainage problems?

Will the bar utilize signage? Subdivision/Development guideline state that "a sign is any device essential purpose and design is to convey commercial ... messages by means of graphic presentation of alphabetic or pictorial symbols or representations". The regulations list 6 different types of exterior signs: Canopy, Changeable, Electronic, Outdoor Displays, Roof Signs and Wall Signs with various sizes and support structures. Further the regulations also discuss light pollution. This is a concern if the current and future neighbors will have their sleeping hours disturbed by headlights or light from the sign. Currently there is no discussion of if or how the bar will use signs to advertise their location.

Section 2-2-114 states "Home occupations are intended to allow limited business activity from the home but shall not alter the character of the neighborhood or create adverse impacts to neighborhood, including significant increases in traffic and on- street parking". Section iii of this same section limits workers to "no more than one (1) employee or co-worker other than the permanent resident(s) can work from the site". Section v of this section further states that "no more than 25 percent of the gross floor area of the primary structure is used for home occupation purposes".

In summary:

The Barn-dominium will violate the Home Occupations section of the code having more than 25% of the building used for commercial enterprises.

The application violates the stated design principles of having a safe, serviceable, attractive, and healthy living environment.

Further the application does not address the public restrooms, addition need for larger septic and leach fields, the removal of larger quantities of trash, the need for parking, paving of the parking areas, causing possible drainage problems. Nor is signage and light pollution address.

In short, I would urge you to decline to approve this variance.

Sincerely,

A handwritten signature in blue ink that reads "P Gapen". The signature is written in a cursive style with a large initial "P".

Patrice Gapen

Meadowlark Bar Barndominium
PZ-23-00073
Public Comments

Date	Name	Contact	Remarks
5/22/2023 Phone Call	George Halyal	307-634-2758	He did not receive neighbor notification of this action. Even though he does not live adjacent feels that the whole area should receive a letter due to the nature of the proposed business. He feels that the bar will be detrimental to home values and not safe next to an airfield.
5/23/23 Email	Gregory & Barbara Wyatt	1512 Skyway Avenue Cheyenne, WY 82009	Email stating their opposition to project.
5/24/2023 Phone Call	Katherine Glandt		In opposition to this project.
5/24/2023 585-331-1788	Tony Rubiano	3648 Piper Lane	In opposition to project. Concern about a bar in a residential area and adjacent to an airport.
5/26/2023 Office Visit (307) 634-4212	Dave Johnson	3663 Piper Lane	This is an airpark and the roads are private. Roads were designed to be used as taxiways also. Liquor in airpark is not good and shouldn't mix planes and liquor. Wants to see a traffic study.
6/12/2023 Phone Call 307-630-7293	Pam Glick	1451 Road 136	Is not in support of this bar at this location.



The Boujie Bailey LLC

BUSINESS PLAN

Executive Summary

The Boujie Bailey LLC will serve as a mobile event venue for weddings, private events, and special occasions with small gatherings. The Boujie Bailey will also provide a stationary venue for the same purpose.

The mobile unit will be able to bring a fully licensed bar service to an event without the need for providing your own alcohol. In our area, there are currently two privately owned dry-hire mobile horse trailers that can be hired for your event, provided the people furnish their own alcohol.

The barndominium will be able to house events, with a full-service bar. This will also serve as a residence.

COMPANY OVERVIEW

The Boujie Bailey LLC was created to be able to bring the full service of a bar to your wedding, private party, family gathering or just-because occasion, without the hassle of making the choice of your venue based on all-inclusive details.

This mobile bar will be the first one of its kind here in Cheyenne and the surrounding areas. There are currently two dry-hire mobile trailers, in our area, that require the customer provide their own alcohol. The Boujie Bailey LLC will provide the alcohol based on the customers selection.

The Boujie Bailey LLC barndominium will be able to provide the customer a venue in which to have their event in private with all the amenities of a full-service bar and a comfortable atmosphere.

OPERATING PLAN

Mobile Bar unit:

A thirty-five-foot motor home converted into a mobile bar, with refrigeration, kegerators, wine cooler, ice machine, slushie machines and beer coolers.

This is a drivable unit that will come to any location (permit provided) with any guest count and full liquor license.

This includes full coverage insurance for mobile unit, liquor liability insurance, and TIPS trained server with ID scanner.

Event Venue/Barndominium:

This consists of housing for the mobile bar unit, a two-bedroom one bathroom apartment with a two-car garage, a commercial unit for gatherings/events up to twenty-five people, with a bar, package liquor and bathrooms.

Package liquor will be open four days a week: Monday, Wednesday, Friday, and Saturday. (Subject to change if a private event is booked the same day).

Private events by reservation only. Booked four weeks in advance with a deposit at the time of contract.

This includes full coverage insurance for venue, liquor liability insurance and TIPS trained server with ID scanner.

Future Expansion:

This will allow accommodations for more guests with the addition of an outdoor covered venue.

MARKETING PLAN

Key Message: Ensure your guests don't get thirsty. Book our mobile bar or private venue.

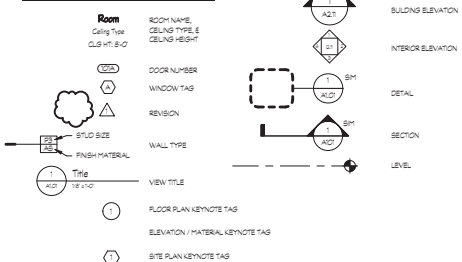
MARKETING ACTIVITIES:

- Media advertising (Facebook, Instagram, Tik Tok, Snapchat)
- Vendor events
- Bridal/Wedding expos
- Word of mouth
- Email marketing
- Website marketing
- Chamber of Commerce

ABBREVIATIONS

Table of abbreviations for construction documents, including electrical, plumbing, and general building symbols.

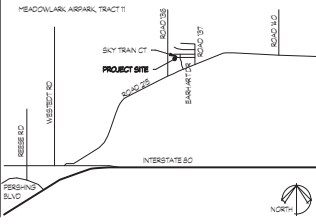
GRAPHIC SYMBOLS



PROJECT DESCRIPTION

NEW CONSTRUCTION OF MIXED-USE BUILDING, INCLUDING A SMALL ASSEMBLY SPACE, TWO GARAGES, AND SINGLE-FAMILY RESIDENCE APARTMENT.

VICINITY MAP



PROJECT TEAM

GENERAL CONTRACTOR: MILLIRON TJ CONSTRUCTION. ARCHITECT OF RECORD: NAVONA ARCHITECTURE LLC.

STRUCTURAL DESIGN:

QUANTUM STRUCTURAL ENGINEERING & DESIGN. CONTACT: DEACON MAGSARD.

GENERAL NOTES

- List of 8 general notes detailing construction requirements, permit responsibilities, and coordination with other trades.

CODE NOTES

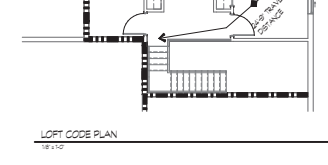
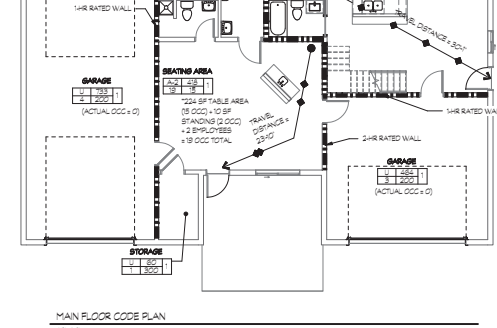
APPLICABLE CODES: 2021 INTERNATIONAL BUILDING CODE, 2021 INTERNATIONAL MECHANICAL CODE, 2021 INTERNATIONAL PLUMBING CODE, 2021 INTERNATIONAL FIRE CODE, 2022 NATIONAL ELECTRICAL CODE.

ALLOWABLE AREA CALCULATIONS FOR BUILDING: Table showing occupancy, type of system, allowable area, and actual area for various rooms.

ALLOWABLE HEIGHT AND NUMBER OF STORES: Table showing occupancy, height allowed, and number of stories.

EGRESS WIDTH REQUIREMENTS (SEC. 1008): Minimum egress width based on occupant load and room type.

MINIMUM NUMBER OF ENITS FOR OCCUPANT LOAD: Two exits are required for areas exceeding 500 sq ft.



EXIT ACCESS:

EXIT ACCESS TRAVEL DISTANCE. A & E OCCUPANCIES WITHOUT SPRINKLER SYSTEM 200 FT. MAX.

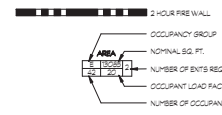
ROOF ASSEMBLY:

THE ROOF ASSEMBLY SHALL BE A MINIMUM CLASS 'C' (TABLE 608.3).

PLUMBING REQUIREMENTS:

RESIDENTIAL OCCUPANCY AND OCCUPANCIES ARE SHARED. LESS THAN 10 OCCUPANTS WILL BE IN ANY OF THESE AREAS.

LEGEND



MEADOWLARK BARN DOMINIUM MILLIRON TJ CONSTRUCTION MEADOWLARK AIRPARK TRACT 11 CHEYENNE, WY DESIGN PHASE

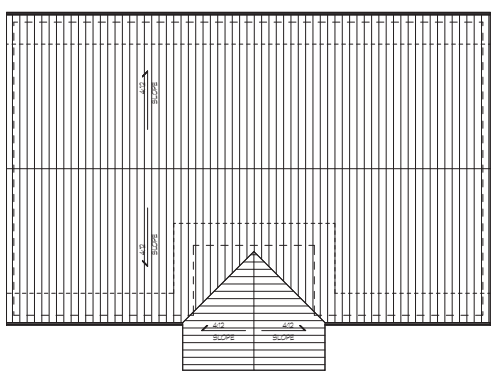
DRAWING INDEX

Drawing index table listing architectural, structural, and foundation plan drawings.

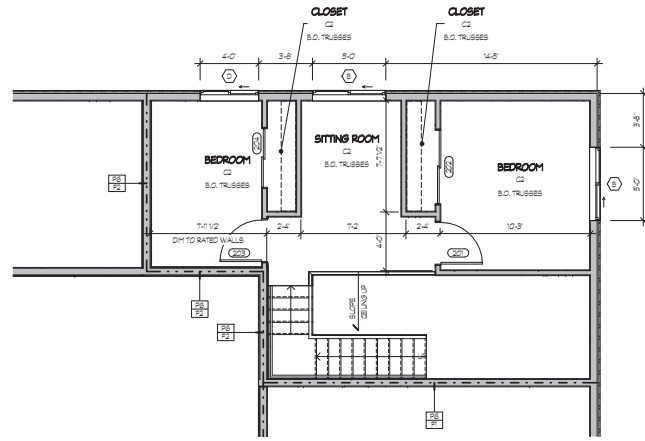


Navona Architecture logo and contact information.

Project information: project # NA2307, issue date 4/6/2023.



1 ROOF PLAN
10/1/20



3 LOFT FLOOR PLAN
10/1/20

ROOF NOTES

- ROOFS**
- STANDING SEAM METAL ROOF OVER STRUCTURAL SHEATHING OVER ROOF STRUCTURE. R-48 ATTIC INSULATION RECOMMENDED.
- NOTES**
- GUTTER & DOWNSPOUT TO BE SIZED BY SMOVA STANDARDS & LOCATIONS AND SIZES PROVIDED BY CONTRACTOR, LOCATED BASED ON DIRECTIONAL OF WIND.
 - PROVIDE ROOF VENTING FOR CODE. SC OPTION FOR SOFFIT VENTING, ROOF OR SIDEWALL VENTING.
 - PROVIDE ICE & WATER SHIELD.
 - PROVIDE FLASHING AT ALL EXPOSED FLASH LOCATIONS. ALL ROOF CHANGE LOCATIONS, ROOF PENETRATIONS AND CHANGES IN MATERIALS.
 - ROOF OVERHANG TO BE 1'-0" AT ALL LOCATIONS. VENTS.
 - VENTS FOR SOFFIT, SPACES AND OTHER ROOF PENETRATIONS TO BE COORDINATED IN FIELD.
- LEGEND**
- WALL LINE BELOW
 - - - - ICE & WATER SHIELD EVENTS

CEILING NOTES

- CEILING**
- 2'-0" SUSPENDED ACoustICAL CEILING (5/8" TYPE) - NON-DIRECTIONAL. FINISHED PANELS, SQUARE EDGE, CONTRAST COLOR W/ DWANE.
 - 5/8" GYPSUM BOARD OVER FLOOR ROOF FRAMING.
 - EXPOSED STRUCTURE - PAINTED.
 - EXPOSED STRUCTURE - UNPAINTED.
 - METAL SOFFIT PANELS.
- NOTES**
- ALL CEILING TO BE STANDARD 5/8" METAL TEE GRID (COLOR BY OWNER) UN.C.
 - ALL CEILING TO BE 8'-0" MAX. UN.C.
 - AT CEILING, EXTEND GYPSUM BOARD TO ABOVE CEILING. AT GYP. BD. CEILING, TERMINATE GYP. BD. AT CEILING UNLESS OTHERWISE NOTED. ALL CEILING TO BE CEILING UN.C.
 - PROVIDE VENTED SOFFIT PANELS, AS REQUIRED.

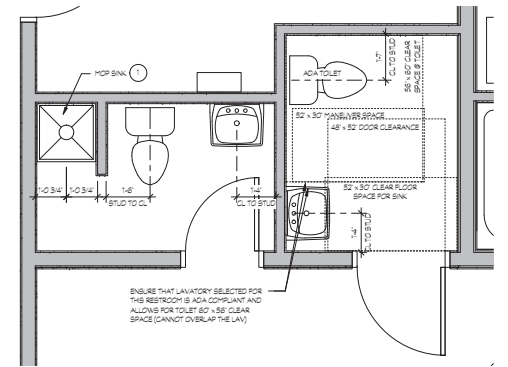
FLOOR PLAN NOTES

- EXTERIOR WALLS**
- W-1: METAL PANEL, 80%NS
- LEGEND**
- == BULKHEAD
- EXTERIOR NOTES**
- ALL METAL CONTROL JOINTS TO ALIGN WITH WINDOW HEADS, JAMBES, WALLS OR CENTER ON VERTICAL/HORIZONTAL MULLIONS UN.C.
- INTERIOR WALLS**
- W-4: 2x4 WOOD STUD FRAMING AT 16" O.C.
 - W-8: 2x6 WOOD STUD FRAMING AT 16" O.C.
- UNLESS OTHERWISE NOTED BY STRUCTURAL ENGINEER
- INTERIOR PARTITION SUPPINES**
- ALEPH: 2x4 WOOD STUD FRAMING ON EACH SIDE OF STUD FRAMING.
 - TERMINATE FRAMING ABOVE HIGHEST ADJACENT FINISHED CEILING. PROVIDE SOUND BATT INSULATION FULL HEIGHT. AT CEILING, EXTEND WALL AND GYP. B ABOVE CEILING.
 - ALICE: 2x4 WOOD STUD FRAMING ON ONE SIDE OF STUD FRAMING ONLY. TERMINATE FRAMING ABOVE HIGHEST ADJACENT FINISHED CEILING.
 - ALICE RATED WALL: 1 LAYER TYPE X-5/8 GYP. BD. EACH SIDE OF STUD FRAMING TO ROOF DECK OR B.O. TRUSS STRUCTURE - SEE NOTE BELOW IF ONLY TERMINATING AT B.O. TRUSSES. PROVIDE 5/2" FIBERGLASS OR MINERAL WOOL INSULATION IN CAVITIES. UN.C. VOID DESIGN.
 - ALICE RATED WALL: 2 LAYERS TYPE X-5/8 GYP. BD. EACH SIDE OF STUD FRAMING TO ROOF DECK OR B.O. TRUSS STRUCTURE - SEE NOTE BELOW IF ONLY TERMINATING AT B.O. TRUSSES. PROVIDE 5/2" FIBERGLASS OR MINERAL WOOL INSULATION IN CAVITIES. UN.C. VOID DESIGN.
- INTERIOR NOTES**
- AT WALLS FLUSH WITH AND ADJACENT TO 2-HOUR RATED WALLS, S.C. OPTION TO ALIGN WALLS WITH FACE OF GYP. OR PROVIDE ADDITIONAL WALL, S.C. OPTION TO CREATE FLUSH WALL SURFACE.
 - ALL DIMENSIONS ARE TO FACE OF STUD FRAMING OR NOMINAL FACE OF CONCRETE WALLS UNLESS NOTED OTHERWISE.
 - APPLY MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND NONADJACENT SURFACES UP TO AT LEAST 4'-0" ABOVE FINISHED FLOOR.
 - PROVIDE GYP. BOARD CONTROL JOINTS AT WALLS OVER 20'-0" IN LENGTH. FRAME DOOR OPENINGS 8" FROM FACE OF PERPENDICULAR WALL ON INGLE SIDE AND 1" FROM FACE OF PERP. WALL ON LATCH SIDE UNLESS NOTED OTHERWISE.
 - ALL ANGLED WALLS ARE A MULTIPLE OF 45 UN.C.
 - PROVIDE WOOD BULLOCS OR METAL BRIM JACKS IN PARTITIONS AS NEEDED TO PROVIDE FOR WALL MOUNTED EQUIPMENT, CABINETS, ACCESSORIES, ETC. IT SHALL BE THE RESPONSIBILITY OF THE GC TO COORDINATE THE REQUIRED LOCATIONS FOR BRACING.
 - PER IRC 2021, SECTION 703.2.2, FRIERBLOCKS SHALL BE PROVIDED IN CONCRETE SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
 - IF FIRE PARTITIONS DO NOT EXTEND TO UNDESIRABLE OF ROOF SHEATHING, THE BRACE ABOVE AND ALONG THE LINE OF THE FIRE PARTITION SHALL BE PROVIDED WITH EITHER FRIERBLOCKS UP TO UNDESIRABLE OF ROOF SHEATHING OR CHARTERFORMS UP TO UNDESIRABLE OF ROOF SHEATHING.
 - PROVIDE A FIRE EXTINGUISHER IN EACH AREA (AT LEAST) IN RESIDENCE, IN BEATING AREA, AND IN EACH GARAGE.
 - STAR IN RESIDENCE TO HAVE MINIMUM 1.34 REER HEIGHT AND MINIMUM 1'0" TREAD DEPTH.
- FLOOR PLAN KEYNOTES**
- FLOOR-MOUNTED MOP SINK: PROVIDE SERVICE FAUCET AND MOP HANGER ON WALL. CONTR. ENACT SIZE WITH DRAINER (24" x 24" SHOWN, SMALLER SIZE ALLOWED).
 - ELECTRICAL PANEL: PROVIDE CLEARANCES AS SHOWN IN FRONT OF PANEL, AS REQUIRED.
 - RANGE LOCATION: IF DUCTWORK IS PROVIDED TO APARTMENT, PROVIDE FIRE DAMPER AS REQUIRED IN WATED WALL.
 - STACKABLE WASHER DRYER: PROVIDE WATER AND DRYER VENT, AS REQUIRED.
 - RESIDENTIAL ELECTRICAL RANGE (OVEN AND COOKTOP).
 - RESIDENTIAL REFRIGERATOR.
 - RESIDENTIAL DISHWASHER.
 - PROVIDE CENTER SWITCH FOR GARBAGE DISPOSAL.
 - WOOD STAR: 1.34 REER MAX. 1'0" TREAD MIN. PROVIDE GUARDRAIL ON OPEN SIDE AND HANDRAIL ON ONE SIDE.

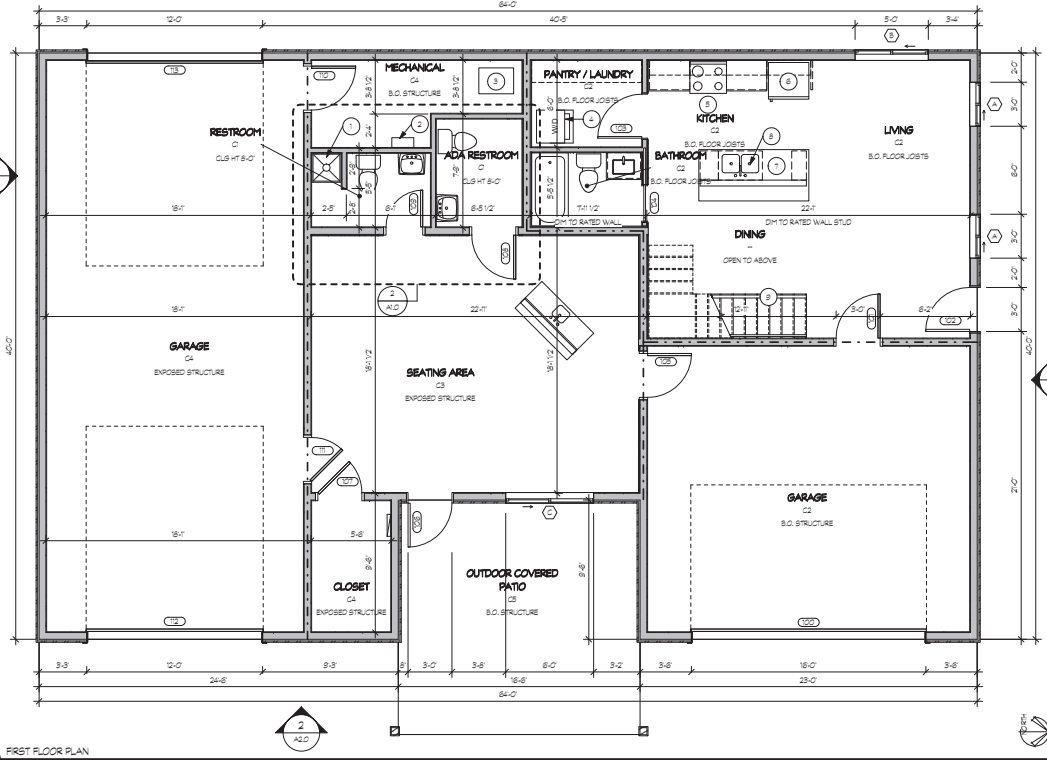
DOOR SCHEDULE

MARK	WIDTH	HEIGHT	COMMENTS
100	8'-0"	10'-0"	OVER-HEAD DOOR
101	3'-0"	7'-0"	45 MIN RATED DOOR
102	3'-0"	8'-8"	ENTRY DOOR - CONTR. STYLE W/ OWNER
103	3'-0"	8'-8"	
104	2'-8"	8'-8"	POCKET DOOR
105	3'-0"	7'-0"	45 MIN RATED DOOR
106	8'-0"	7'-0"	PULLITE
107	3'-0"	7'-0"	
108	3'-0"	7'-0"	
109	2'-8"	7'-0"	
110	3'-0"	7'-0"	45 MIN RATED DOOR
111	3'-0"	7'-0"	45 MIN RATED DOOR
112	2'-0"	14'-0"	OVER-HEAD DOOR
113	2'-0"	14'-0"	OVER-HEAD DOOR
201	2'-10"	8'-8"	
202	3'-0"	8'-8"	
203	2'-10"	8'-8"	
204	4'-0"	8'-8"	

- DOOR & WINDOW NOTES**
- ALL HARDWARE IN COMMERCIAL AREAS TO BE LEVER HANDLES, CONTR. LOCKS AND HARDWARE TYPE AND FINISH WITH OWNER.
 - HANDLES, PULLS, KNOBS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. THE OPERATIONAL FORCE TO RETRACT KNOBS OR OPERABLE DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION SHALL BE 5 LBS MAXIMUM BY FORWARD PUSHING OR PULLING MOTION AND OR 25 LBS MAXIMUM ROTATION MOTION.
 - OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR.
 - CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12 DEGREES SHALL BE 5 SECONDS MAXIMUM.
 - INTERIOR DOORS SHALL HAVE A FORCE OF 5 LBS MAXIMUM FOR PUSHING OR PULLING OPEN DOORS.



2 PUBLIC RESTROOM PLAN
10/1/20



1 FIRST FLOOR PLAN
10/1/20

WINDOW SCHEDULE

MARK	R.O.	HEIGHT	WIDTH	COUNT	SILL HT	HEAD HT	COMMENTS
A	4'-0"	3'-0"	2	2'-5"	8'-8"		SLUNG WINDOW
B	4'-0"	3'-0"	3	2'-8"	8'-8"		SLUNG WINDOW
C	3'-0"	8'-0"	1	2'-0"	7'-0"		SLUNG WINDOW
D	4'-0"	4'-0"	1	2'-8"	8'-8"		SLUNG WINDOW

Navona Architecture LLC
MILLIRON TJ CONSTRUCTION
MEADOWLARK BARNDOMINIUM TRACT 11
CHEYENNE, WY

Navona ARCHITECTURE

project #: NAJ001
issue date: 4/8/2023



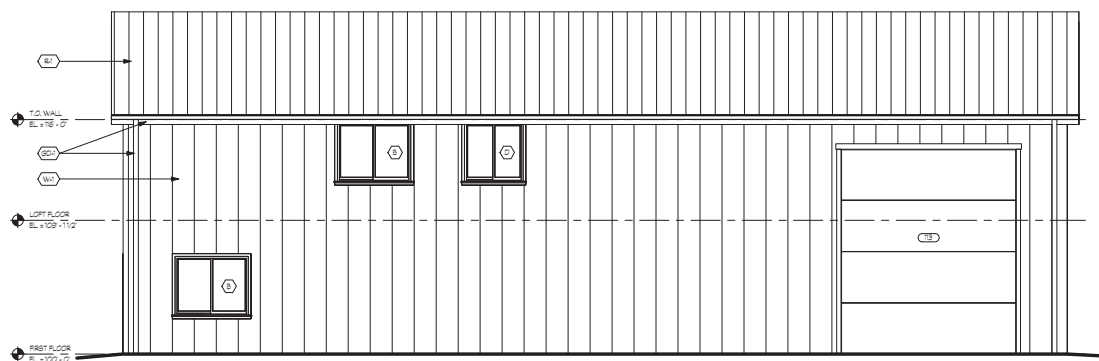
WINDOW SCHEDULE						
MARK	R.O.			BILL HT	HEAD HT	COMMENTS
	HEIGHT	WIDTH	COUNT			
A	4'-0"	8'-0"	2	2'-8"	8'-8"	BUILDING WINDOW
B	4'-0"	8'-0"	3	2'-8"	8'-8"	BUILDING WINDOW
C	8'-0"	8'-0"	1	2'-0"	7'-0"	BUILDING WINDOW
D	4'-0"	8'-0"	1	2'-8"	8'-8"	BUILDING WINDOW

DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	COMMENTS
101	3'-0"	7'-0"	45 MIN RATED DOOR
102	3'-0"	8'-8"	ENTRY DOOR - CONFRY STYLE W/ OWNER
103	3'-0"	8'-8"	POCKET DOOR
104	2'-8"	8'-8"	POCKET DOOR
105	3'-0"	7'-0"	45 MIN RATED DOOR
106	3'-0"	7'-0"	PULL LITE
107	3'-0"	7'-0"	
108	3'-0"	7'-0"	
109	2'-8"	7'-0"	
110	3'-0"	7'-0"	45 MIN RATED DOOR
111	3'-0"	7'-0"	45 MIN RATED DOOR
112	12'-0"	14'-0"	OVER-HEAD DOOR
113	12'-0"	14'-0"	OVER-HEAD DOOR
201	2'-10"	8'-8"	
202	5'-0"	8'-8"	
203	2'-10"	8'-8"	
204	4'-0"	8'-8"	

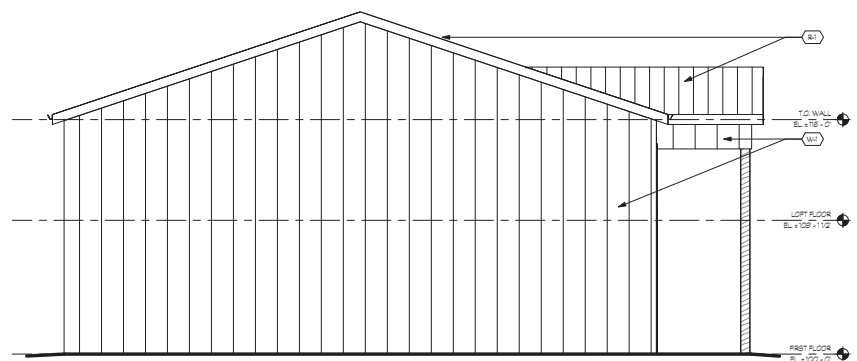
- ELEVATIONS**
- GENERAL NOTES**
- SEE SCHEDULE FOR MATERIAL TYPES AND KEYNOTES FOR LOCATIONS.
 - PROVIDE EXPANSION AND CONTRACTION JOINTS AT ALL WALLS AT INTERVALS AS RECOMMENDED BY MATERIAL MANUFACTURERS.
 - CONTRACTOR TO VERIFY LOCATION OF ANY EXTERIOR LIGHTING WITH OWNER AND PROVIDE AS REQUESTED BY OWNER.
 - PROVIDE HOSE BIBS ON BUILDING EXTERIOR, CONFRY LOCATIONS WITH OWNER.

EXTERIOR MATERIALS

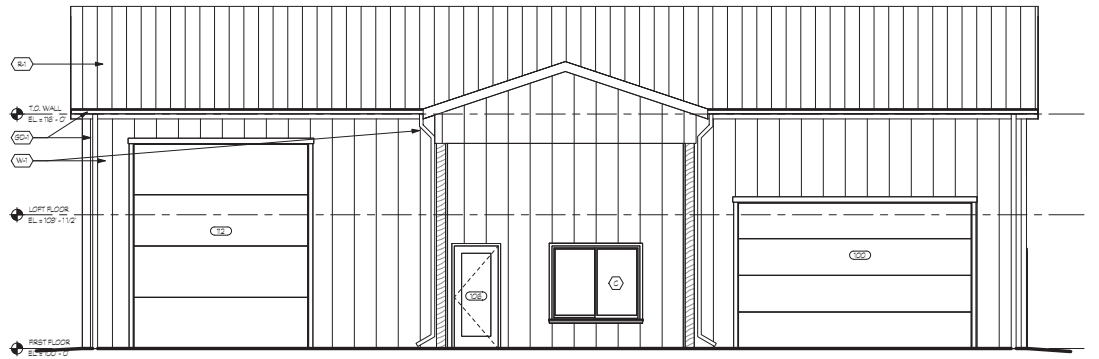
SD1	PREFINISHED METAL BUTLER E DOWNPOUT
SD2	PREFINISHED STANDING SEAM METAL ROOF
W1	METAL PANEL SIDING



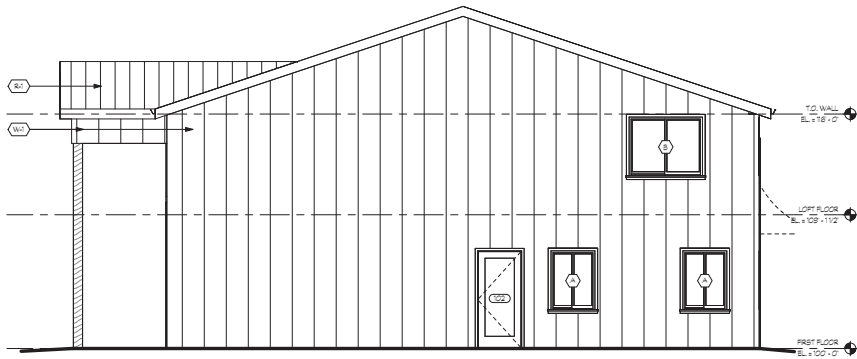
4 WEST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

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MEADOWLARK BARNDOMINIUM
MILLIRON TJ CONSTRUCTION
MEADOWLARK BARN TRACT 11
CHEYENNE, WY

project #: NA0017
issue date: 4/8/2023



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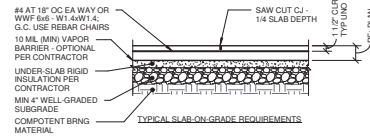
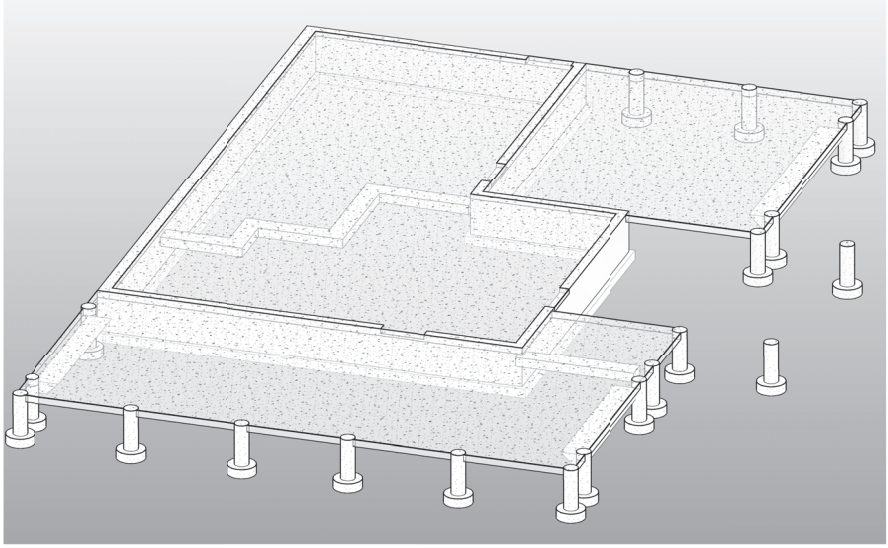
Navona
 ARCHITECTURE

MEADOWLARK
 BARONIUM
 MILLIRON T.J. CONSTRUCTION
 MEADOWLARK SUBDIVISION
 LARAMIE COUNTY, WY

project #:
 NA2307
 issue date:
 4/6/2023

CONCRETE NOTES & SPECIFICATIONS

- GENERAL**
 - ALL WORK SHALL CONFORM WITH ACI 301-10.
- CONCRETE MIX DESIGN**
 - PROVIDE A CONCRETE MIX DESIGN MEETING THE FOLLOWING REQUIREMENTS:
 - a. MINIMUM COMPRESSIVE STRENGTH (F_c) = 3500 PSI AT (28DAYS)
 - b. PORTLAND CEMENT (ASTM C150) = TYPE II
 - c. NORMAL WEIGHT AGGREGATE (ASTM C33) = 3/4" MAX
 - d. AIR CONTENT = 6% ± 1%
 - THE CONTRACTOR SHALL PROPORTION MIX DESIGNS TO CONFORM WITH THE REQUIREMENTS SHOWN ABOVE. THE USE OF ADMIXTURES CONFORMING TO ASTM C494 TO ADJUST SLUMP, TO PROVIDE DESIRED WORKABILITY AND TO PROVIDE CHARACTERISTICS FOR MEANS AND METHODS OF PLACEMENT, IS PERMITTED.
 - AGGREGATES USED SHALL BE EVALUATED FOR THE POTENTIAL OF ALKALI-SILICA REACTIVITY. IF AGGREGATES ARE FOUND BE POTENTIALLY REACTIVE, MIX DESIGN SHALL INCORPORATE MEANS TO CONTROL REACTIVITY. REFER TO THE PORTLAND CEMENT ASSOCIATION'S GUIDE SPECIFICATION FOR CONCRETE SUBJECT TO ALKALI-SILICA REACTION FOR MORE INFORMATION.
- REINFORCING**
 - REINFORCING MATERIALS:
 - a. TYPICAL DEFORMED BAR REINFORCING = ASTM A615, Gr. 60
 - b. DEFORMED WELDED WIRE FABRIC = ASTM A497
 - 3B. CLEAR COVER REQUIREMENTS:
 - a. CONC CAST AGAINST EARTH = 3" CLR, TYP UNO
 - b. CONC CAST IN FORMS BUT EXPOSED TO EARTH = 2" CLR, TYP UNO
 - c. CONC NOT EXPOSED TO WEATHER OR GROUND = 3/4" CLR, TYP UNO
 - 3C. BAR LENGTHS:
 - a. MINIMUM SPICE LENGTH = 24"
 - b. MINIMUM HOOK LENGTH = 12"
 - c. CORNER BARS = 24"x24" TYP
- SLAB-ON-GRADE**
 - NOTES:
 - a. PROVIDE 18" x 11" SAW CUT OR TOOLED CONTROL JOINTS AT 13' 0" OC MAX, EACH DIRECTION. SLAB SECTIONS DEFINED BY CONTROL JOINTS SHALL HAVE AN ASPECT RATIO NO GREATER THAN 1.5.
 - b. PROVIDE ISOLATION JOINTS AT CONCRETE CAISSONS.
 - c. THE CONTRACTOR SHALL COORDINATE ALL SLAB SLOPES, STEPS, DEPRESSIONS, CURBS, PADS AND THRESHOLDS WITH OWNER, ARCH & MEP REQUIREMENTS.
 - d. THE CONTRACTOR SHALL COORDINATE VAPOR RETARDER/BARRIER REQUIREMENTS AND LOCATIONS WITH OWNER REQUIREMENTS. VAPOR RETARDER/BARRIER SHALL BE INSTALLED PER THE REQUIREMENTS OF ACI 302.1R-04.
 - e. THE CONTRACTOR SHALL INSTALL & PROVIDE A SLAB-ON-GRADE THAT CONFORMS WITH THE FLATNESS REQUIREMENTS OF ACI 117.1H, SECTION 4.8 FOR RANDOM TRAFFIC FLOORS. THE MAXIMUM GAP UNDER THE STRAIGHTEDGE SHALL NOT EXCEED 1/4".



TYPICAL FOUNDATION NOTES

- FOOTINGS:**
 - FOR T.O.F. ELEVATIONS, RE: PLAN & 2 / S1.0
- FOUNDATION WALLS:**
 - ALL FOUNDATION WALL THICKNESSES 8" TYP. UNO.
 - FOR T.O.W. ELEVATIONS, RE: PLAN.
 - TYP ANCHOR BOLT AND HOLD DOWN LOCATIONS PER OWNER
 - FOR TYP FOUNDATION REQUIREMENTS, RE: 2 / S1.0
- REINFORCING:**
 - PLACE REINFORCING WITH THE CLEAR COVER INDICATED BELOW, TYP UNO IN PLANS & DETAILS.
 - a. CONC CAST AGAINST EARTH = 3" CLR, TYP UNO
 - b. CONC CAST IN FORMS BUT EXPOSED TO EARTH = 2" CLR, TYP UNO
 - c. MINIMUM SPICE LENGTH = 24"
 - d. CORNER BARS = 24"x24" TYP

SHEET INDEX

NUMBER	SHEET NAME
S0.0	COVER SHEET
S1.0	FDN PLAN & DETAILS

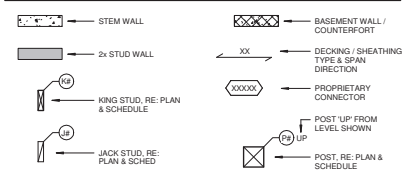
GENERAL NOTES & REQUIREMENTS

- GENERAL**
 - THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. NOTHING SHOWN IN STRUCTURAL DRAWINGS SHALL BE INTERPRETED TO ALLEVIATE THE NEED FOR TEMPORARY BRACING, SHORING, ETC., WHICH MAY ARISE FROM THE CONTRACTOR'S MEANS, METHODS AND/OR SEQUENCING.
 - DO NOT SCALE DRAWINGS.
- GENERAL FOUNDATION NOTES**
 - FOUNDATION SUBGRADE & SUPPORT:
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE PRESUMPTIVE LOAD BEARING VALUES SHOWN IN THE DESIGN CRITERIA BELOW VERIFIED BY THE EOR DURING THE OPEN HOLE INSPECTION. IF THE SITE CONDITIONS DO NOT MEET OR EXCEED THE VALUES SHOWN BELOW, CONTACT EOR PRIOR TO PROCEEDING WITH WORK.
 - FOOTINGS & SLABS-ON-GRADE SHALL BEAR ON UNDISTURBED NATIVE SOILS OR ENGINEERED FILL.
 - WHERE REQUIRED, ENGINEERED FILL MATERIALS SHALL BE FREE OF VEGETATION, ORGANIC MATERIALS AND FOREIGN MATERIALS. TO ENSURE UNIFORM SUPPORT OF FOUNDATION ELEMENTS, ENGINEERED FILL SHALL BE DESIGNED AND INSPECTED BY A QUALIFIED GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF WYOMING.
 - FOUNDATION DRAINAGE:
 - FOUNDATION DRAINAGE SYSTEMS, CONFORMING TO THE REQUIREMENTS OF SECTION R405 OF THE 2021 IRC, DRAINAGE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING CONDITIONS**
 - THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE ALL EXISTING CONDITIONS PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND PRIOR TO PROCEEDING WITH THE WORK.
 - IN THE EVENT OF SUCH DISCOVERIES, THE CONTRACTOR SHALL SUBMIT A DETAILED, DIMENSIONED SKETCH SHOWING ALL EXISTING STRUCTURE AND OTHER RELEVANT MATERIALS AND CONDITIONS TO THE EOR PRIOR TO PROCEEDING WITH THE WORK.

DESIGN CRITERIA

- CODES & STANDARDS**
 - CODES:
 - a. 2021 INTERNATIONAL BUILDING CODE (IBC)
 - b. 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - c. ACI 302-14 RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- DEAD, LIVE & SNOW LOADS**
 - DEAD AND LIVE LOADS
 - a. DEAD LOAD = 15 PSF
 - b. LIVE LOAD = 100 PSF (SOG)
 - c. ROOF LIVE LOAD = 20 PSF
 - SNOW LOADS SHALL BE CALCULATED USING THE FOLLOWING DESIGN CRITERIA:
 - RISK CATEGORY = II
 - TERRAIN CATEGORY = C
 - SNOW EXPOSURE FACTOR (Ce) = 1.0
 - THERMAL FACTOR (Ct) = 1.0
 - SNOW LOAD IMPORTANCE FACTOR = 1.2
 - DESIGN FLAT ROOF SNOW (Ps) = 30 PSF
- WIND & SEISMIC DESIGN CRITERIA**
 - THE LATERAL LOAD RESISTING SYSTEM IS COMPRISED OF WOOD FRAMING AND WOOD ANGLE BRACES.
 - MAN WIND FORCE RESISTING SYSTEM (MWFRS) AND COMPONENTS & CLADDING (CAC) WIND PRESSURES SHALL BE CALCULATED USING THE FOLLOWING DESIGN CRITERIA:
 - RISK CATEGORY = II
 - BASIC ULTIMATE WIND SPEED = 115 MPH
 - MINIMUM WIND SPEED = 89 MPH
 - EXPOSURE CATEGORY = C
 - INTERNAL PRESSURE COEFFICIENT = +0.18
 - SEISMIC LOADS SHALL BE CALCULATED USING THE FOLLOWING DESIGN CRITERIA:
 - RISK CATEGORY = II
 - SITE CLASS = D
 - SEISMIC DESIGN CATEGORY = II
- FOUNDATION DESIGN CRITERIA**
 - FOUNDATION DESIGN IS BASED ON THE PRESUMPTIVE LOAD-BEARING VALUES SHOWN IN TABLE R401.4.1 OF THE 2021 IRC:
 - ALLOWABLE BEARING PRESSURE = 1500 PSF
 - FROST DEPTH = 36"
 - FOUNDATION DESIGN LOADING CONDITIONS ARE BASED ON THE FLOOR FRAMING AND ROOF FRAMING PLANS SHOWN. IF FRAMING LAYOUT IS CHANGED OR MODIFIED, CONTACT EOR PRIOR TO PROCEEDING WITH WORK.

SYMBOLS LEGEND



project #:
 NA2307
 issue date:
 4/6/2023



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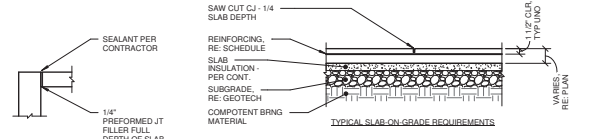
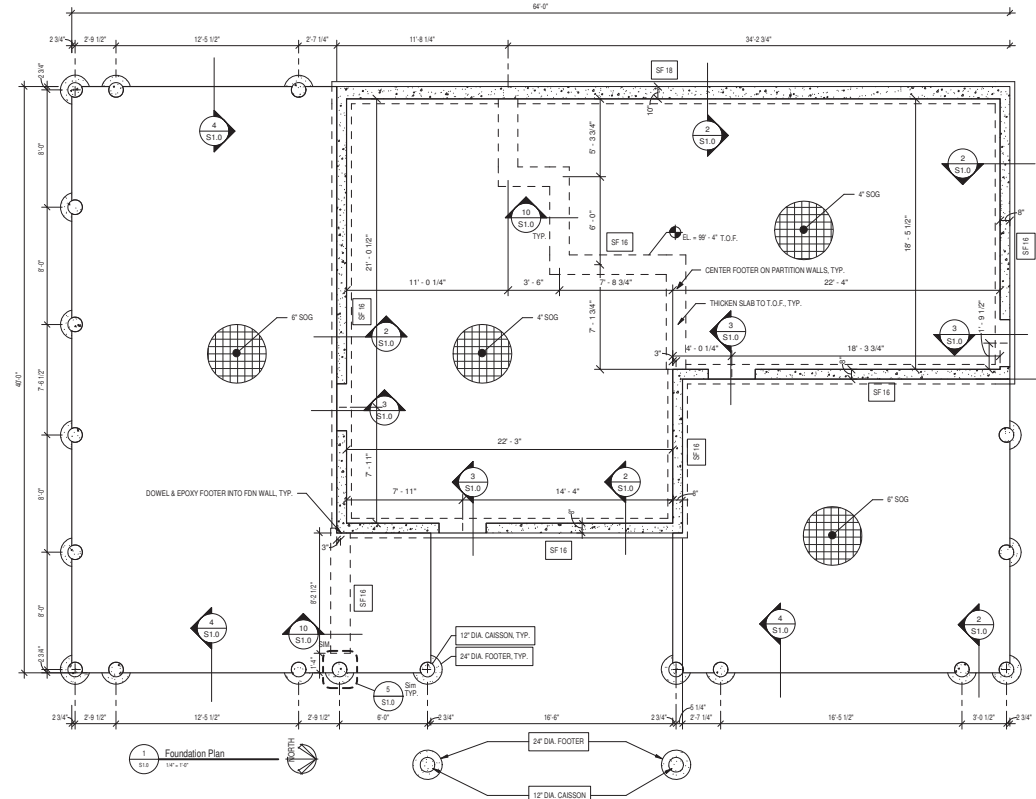


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MEADOWLARK BARNDOM CONSTRUCTION
 MILLINGTON, UT
 MEADOWLARK SUBDIVISION
 LARAMEE COUNTY, WY

project #:
 NA2307
 issue date:
 4/6/2023



SLAB-ON-GRADE SCHEDULE

SOG ID	THICKNESS	REINFORCING	NOTES
[R' SOG]	[R']	[WWF 6-6 - W1.4W1.4]	[PROVIDE A MIN LAP OF (2) SQUARES]
[R' SOG]	[R']	[WWF 6-6 - W1.4W1.4]	[PROVIDE A MIN LAP OF (2) SQUARES]

- SLAB-ON-GRADE NOTES**
- PROVIDE SAW CUT CONTROL JOINTS AT 12'-0" OC MAX. EACH DIRECTION. SLAB SECTIONS DEFINED BY CONTROL JOINTS SHALL HAVE AN ASPECT RATIO NO GREATER THAN 1.5.
 - PROVIDE ISOLATION JOINTS AS SHOWN IN ADJACENT DETAILS.
 - THE CONTRACTOR SHALL COORDINATE ALL SLAB SLOPES, STEPS, DEPRESSIONS, CURBS, PADS AND THRESHOLDS WITH OWNER, ARCH & MEP REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE VAPOR RETARDER/BARRIER REQUIREMENTS AND LOCATIONS WITH OWNER REQUIREMENTS. VAPOR RETARDER/BARRIER SHALL BE INSTALLED PER THE RECOMMENDATIONS OF ACI 302.19-04.
 - THE CONTRACTOR SHALL INSTALL & PROVIDE A SLAB ON GRADE THAT CONFORMS WITH THE FLATNESS REQUIREMENTS OF ACI 117-10, SECTION 4.8.8 FOR RANDOM TRAFFIC FLOORS. THE MAXIMUM GAP UNDER THE STRAIGHTEDGE SHALL NOT EXCEED 1/4".

REINFORCING DEVELOPMENT & STANDARD HOOK LENGTHS

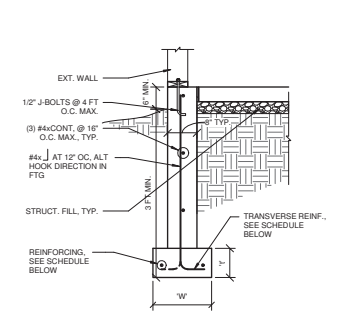
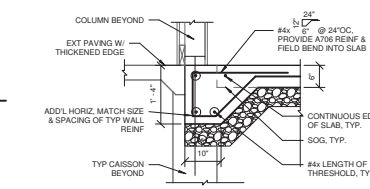
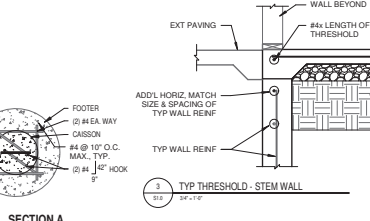
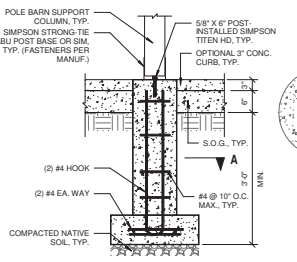
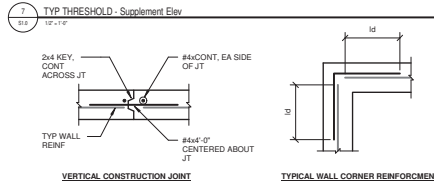
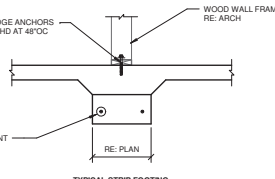
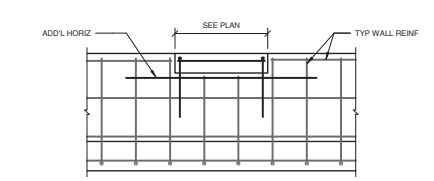
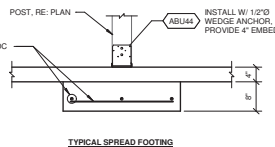
BAR SIZE	DEVELOPMENT LENGTH (db)	STANDARD HOOK (db)
#3	18"	6"
#4	22"	8"
#5	28"	10"
#6	34"	12"
#8	56"	16"

- NOTES:**
- LAP SPlice LENGTHS SHALL EQUAL OR EXCEED THE DEVELOPMENT LENGTH FOR A BAR OF THE SAME SIZE.
 - CLEAR SPACING SHALL NOT BE LESS THAN 2x(db).
 - CLEAR COVER SHALL NOT BE LESS THAN (db).

CONC REINF CLEAR COVER REQMTS

BAR LOCATION & USE	CLEAR COVER
CONCRETE CAST AGAINST, AND PERMANENTLY EXPOSED TO EARTH	3"
CONCRETE CAST IN FORMS BUT PERMANENTLY EXPOSED TO EARTH	2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH	3/4"

TYP CONCRETE REINFORCING REQMTS



STRIP FOOTING SCHEDULE

FOOTING ID	DIMENSIONS	LONGITUDINAL REINFORCING	TRANSVERSE REINFORCING
SF 16	1'-4\"/>		
SF 18	1'-6\"/>		

STRIP FOOTING SCHEDULE

FOOTING ID	DIMENSIONS	LONGITUDINAL REINFORCING	TRANSVERSE REINFORCING
SF 16	1'-4\"/>		
SF 18	1'-6\"/>		

1 TYP SLAB-ON-GRADE

2 TYP CONCRETE REINFORCING REQMTS

3 TYP STRIP FOOTING

4 TYP INTERIOR FOUNDATIONS

5 TYP THRESHOLD - Supplement Elev

6 TYP FOUNDATION WALL REQUIREMENTS

7 TYP WALL CORNER REINFORCEMENT

8 TYP THRESHOLD - SOG

9 TYP THRESHOLD - SOG

A RESOLUTION TO APPROVE A SUBDIVISION PERMIT AND PLAT FOR GOVT. LOTS 1, 2, 3, AND 4 LESS A PORTION, AND ALL OF THE NW1/4 SE1/4 LESS A PORTION, SEC. 6, T.14N., R.64W., OF THE 6TH P.M., LARAMIE COUNTY, WY, TO BE PLATTED AND KNOWN AS "MEADOWLARK AIRPARK".

WHEREAS, Wyoming State Statutes §18-5-201 to 18-5-208; §18-5-301 to 18-5-315 authorize Laramie County, in promoting the public health, safety, morals and general welfare of the county, to regulate the use of land through zoning in unincorporated Laramie County; and

WHEREAS, the Laramie County Board of Commissioners adopted the Laramie County Land Use Regulations; and

WHEREAS, the proposed subdivision and plat is in accordance with section 2-1-101 (a-e) of the Laramie County Land Use Regulations; and

WHEREAS, this resolution is the subdivision permit for Meadowlark Airpark.

NOW THEREFORE BE IT RESOLVED BY THE GOVERNING BODY OF LARAMIE COUNTY, WYOMING, as follows:

The Laramie County Board of Commissioners finds that:

- a. This application is in conformance with section 2-1-101 (a-e) of the Laramie County Land Use Regulations.

And the Board approves the Subdivision Permit and Plat for Meadowlark Airpark with the following conditions:


1. DEQ approval of the Chapter 23 Study shall be required prior to plat recordation.
2. The portion of Railroad Road running from Road 136 to Earhart Drive is required to be paved prior to tract development.

PRESENTED, READ AND ADOPTED THIS April 6 DAY OF


April, 2021.

LARAMIE COUNTY BOARD OF COMMISSIONERS


Gunnar Malm, Chairman

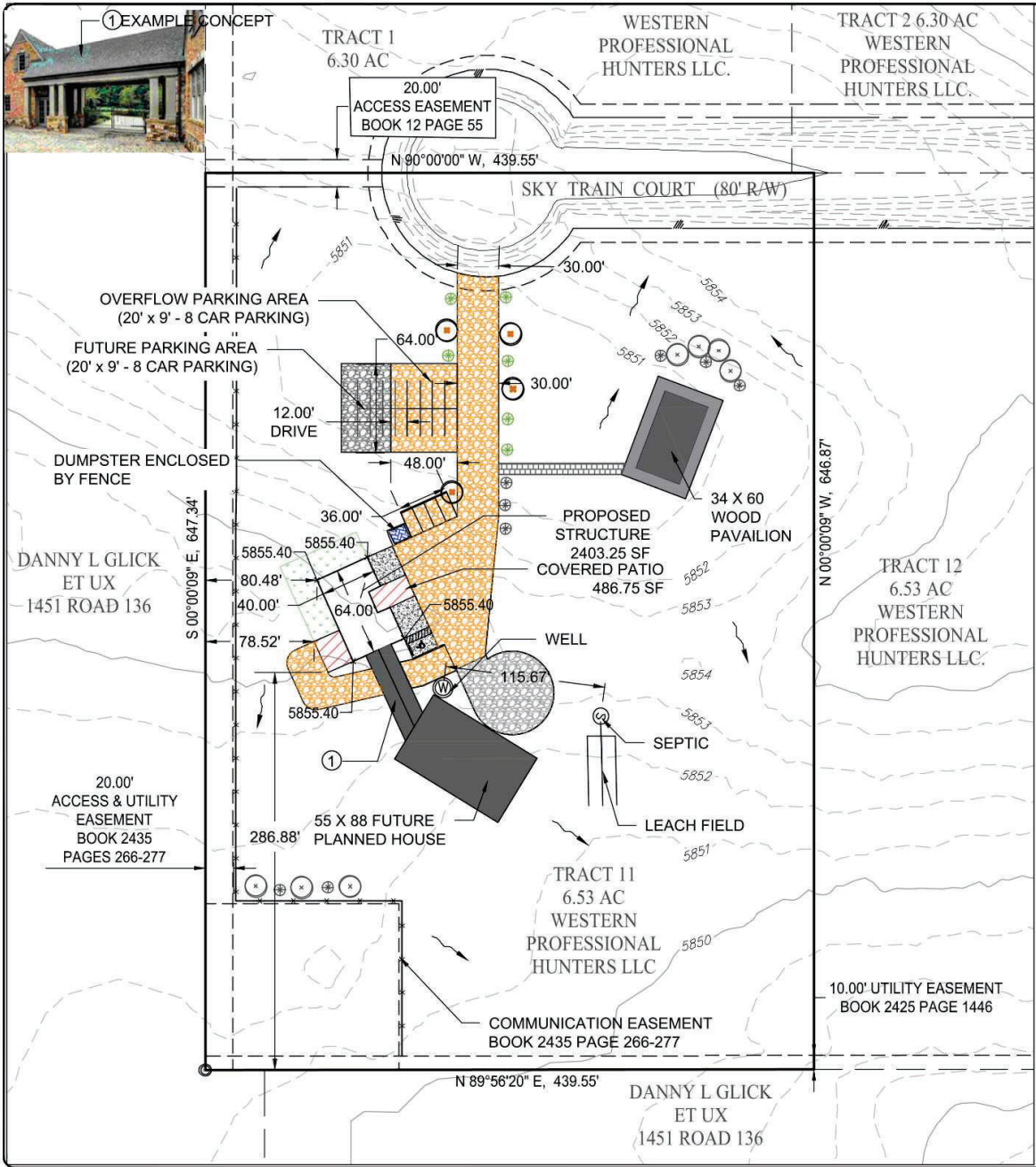
 ATTEST:

Debra K. Lee, Laramie County Clerk

Reviewed and approved as to form:


Laramie County Attorney's Office

 REC# : 819741
RECORDED 9/16/2021 AT 10:18 AM BK# 2754 PG# 748
Debra K. Lee, CLERK OF LARAMIE COUNTY, WY PAGE 1 OF 1

COPY OF RECORD

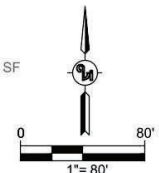


LANDSCAPE NOTES
LANDSCAPE REQUIREMENT IS BASED ON 50% OF TOTAL AREA OF THE PROPOSED BUILDING FOOTPRINT, PARKING, AND IMPERVIOUS AREAS

AREA OF FOOTPRINT, PARKING, IMPERVIOUS AREA: 4650 SF / 11706 SF
4650 X 50% = 2325 SF / 11706 X 50% = 5853 SF
REQUIRED INTERNAL LANDSCAPE AREA: 2325 SF / 5853 SF
REQUIRED TREE POINTS: 2325/500 = 4.65 PTS / $\frac{5853}{500} = 11.7$ PTS
REQUIRED SHRUB POINTS: 4.65 / 11.7 PTS
REQUIRED GROUND COVER POINTS: 2325/1000 = 2.325 PTS
 $\frac{5853}{1000} = 5.85$ PTS

PROPOSED TREE POINTS: 6 PTS / 16.5 PTS
NEW EVERGREEN: 4 NEW TREES X 1.5 PTS = 6 PTS / 11 TREES X 1.5 = 16.5 PTS
PROPOSED SHRUB POINTS: 6 PTS / 12 PTS
NEW DECIDUOUS SHRUB: 6 NEW SHRUBS X 1 PT = 6 PTS / 12 SHRUBS X 1 PT = 12 PTS
PROPOSED GROUND COVER POINTS: 4.58 PTS / 11.76 PTS
OUTDOOR/REG STRUCTURE - COVERED PATIO = 1 PT
KENTUCKY BLUEGRASS SOD - 2,387.2 SF / 500SF = 4.7 X 0.75 = 3.58 PTS

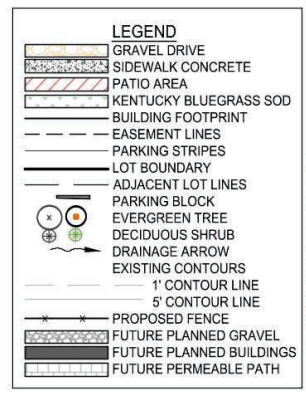
PERMEABLE PATH TO PAVAILION - 718.15 SF / 100 = 7.18 PTS
LANDSCAPING SHOWN IS FOR INFORMATIONAL PURPOSES ONLY.
ACTUAL LOCATIONS OF SHRUBS SHALL BE DETERMINED BY OWNER/CONTRACTOR IN FIELD.



LEGAL DESCRIPTION
SITUATED IN THE NORTH 1/4 OF SECTION 6 TOWNSHIP 14 NORTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, LARAMIE COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGINNING AT THE SOUTHWEST CORNER OF TRACT 11 OF MEADOWLARK AIRPARK, FILED IN BOOK 12, PAGE 55 AT THE LARAMIE COUNTY CLERK AND RECORDS OFFICE AND BEING A FOUND IRON ROD; THENCE N00°00'09"W A DISTANCE OF 647.34 FEET TO A POINT; THENCE N90°00'00"E ALONG CENTERLINE OF SKY TRAIN COURT A DISTANCE OF 439.55 FEET TO A POINT; THENCE S00°00'09"E A DISTANCE OF 646.87 FEET TO A POINT; THENCE S89°56'20"W A DISTANCE OF 439.55 FEET TO SAID FOUND IRON ROD BEING THE POINT OF BEGINNING.

SAID AREA CONTAINS 6.53 ACRES MORE OR LESS



SUMMARY TABLE

TOTAL SITE AREA:	6.53 AC
EXISTING IMPERVIOUS AREA:	0 AC
PROPOSED DISTURBANCE AREA:	0.38 AC
PROPOSED BUILDING AREA:	2403.25 SF / 0.06 AC
PROPOSED IMPERVIOUS AREA:	4650 SF / 0.11 AC
FUTURE BUILDING AREA:	9459.25 SF
FUTURE IMPERVIOUS AREA:	11706 SF
LAND USE:	COMMERCIAL
ZONING:	LU (LAND USE)
PARKING PROVIDED:	8 FUTURE CAR PARKING 8 OVERFLOW PARKING 1 MARKED ADA VAN ACCESSIBLE STALL 1 ADA AISLE 4 MARKED PARKING STALLS (MARKED BY STRIPING AND PARKING BLOCKS)
BUILDING SUMMARY	
MAX HEIGHT:	16 FEET
MAX WIDTH:	40 FEET
MAX LENGTH:	64 FEET



SITE PLAN & LANDSCAPE PLAN
MEADOWLARK AIRPARK
BEING SITUATED IN SECTION 6, TOWNSHIP 14 NORTH, RANGE 64 WEST OF THE SOUTH 6TH PRINCIPAL MERIDIAN, LARAMIE COUNTY, WYOMING
PREPARED MAY 2023

NO.	DATE
1	06/2023
REVISION	Review #1
NO.	
DATE	

PREPARED FOR:
MILLIRON TJ CONSTRUCTION
1528 TKO RANCH RD
CHEYENNE, WY 82009

PROJECT:
TRACT 11
MEADOWLARK AIRPARK
SITE PLAN
DRAWING TITLE: BARNDOMINIUM VENUE



DATE PLOTTED:	Aug 07, 2023
DRAWN BY:	CP
DESIGNED BY:	CP
CHECKED BY:	TR
JOB NO.:	4653